



## Town of Miami Lakes Memorandum

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To: Honorable Mayor and Town Council

From: Alex Rey, Town Manager

Subject: PLAT2016-0005/PHSP2016-0017

Date: December 6, 2016

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### Recommendation:

Staff recommends approval, subject to conditions of a request for approval of a Preliminary Plat, and for approval of a Site Plan. Recommended conditions are as follows:

#### Preliminary Plat Conditions

1. The approval of the preliminary plat shall be in accordance with the copy of the "Tentative Plat of "Miami Lakes Office Park Section 1" as submitted for approval to the Town Council and prepared by Schwebke-Shiskin and Associates, Inc. consisting of two (2) sheets and stamped as received by the Town on 11-1-2016.
2. The Applicant shall comply, prior to final plat approval, with all platting requirements of the Town LDC and Chapter 28 of the Miami-Dade County Code.
3. All design and engineering documents, including any required studies, required for public improvements, or Private Street, utility and infrastructure improvements required to meet the standards for public facilities per the LDC, shall be submitted concurrently with the final plat application. All required improvements shall be completed and approved by the Town, per the procedures of the LDC, prior to recording of the final plat.
4. The Applicant shall obtain approval of a final plat in accordance with the Town LDC for the requested preliminary plat, as approved herein, within one year of the date of this approval, unless an extension is granted by the Town Council in accordance with the provisions of Subsection 13-308(f)(5). If a final plat is not obtained within the prescribed time limit, then this approval shall become null and void.
5. No building permit which is dependent upon this plat shall be issued until the final plat is recorded, except as may be allowed by the LDC.

#### Site Plan Conditions

1. The Applicant shall obtain a Certificate of Use (CU), and Business Tax Receipt (BTR), and promptly renew the BTR annually, upon compliance with all the terms and conditions of this approval, the same subject to cancellation upon violation of any of the conditions.
2. Site Plan approval herein is for those plans shown in Exhibit B.
3. Prior to the issuance of any and all CUs for businesses within the proposed office building, a transportation demand management (TDM) plan particular to said business shall be submitted to and approved by the Administrative Official. In evaluating said TDM plans, the Administrative Official shall be guided by the findings and recommendations of the Commute Trip Reduction Plan (CTRP) and any subsequent updates to the CTRP undertaken by the Town.
4. Prior to the issuance of a building permit authorizing construction of the parking lot, the Applicant shall show on building plans the proposed location of preferred carpool parking in appropriate locations and of an appropriate number considering the size of the building. The Administrative Official may deny issuance of the building permit until

these plans are deemed acceptable. No final zoning inspection shall be approved until the designation of these areas on the site is verified.

5. Vested rights previously granted for "Parcel 20" by Miami-Dade County Developmental Impact Committee (DIC) Order No. MVR-2-00 are hereby reduced by 82,271 square feet, upon the issuance of building permit(s) for construction of the office building as authorized by this site plan approval.
6. No trees shall be removed except in conformance with a tree removal permit issued by the Town.
7. All signs require a separate sign permit.
8. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted within the prescribed time limit, this approval shall become null and void.

#### Background:

See attached Staff Analysis.

#### Attachments:

**Staff Analysis and Recommendation**

**Resolution**

**Exhibit A: Proposed Preliminary Plat**

**Exhibit B - Proposed Site Plan - Part 1**

**Exhibit B - Proposed Site Plan - Part 2**

**Exhibit B - Proposed Site Plan - Part 3**

**Opinion of Title**

**Backup Materials**



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## Staff Analysis and Recommendation

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**To:** Honorable Mayor and Members of the Town Council

**From:** Alex Rey, Town Manager

**Subject:** **HEARING NUMBER:** PLAT2016-0005 / PHSP2016-0017  
**APPLICANT:** TGC Governor's Square, LLC  
**FOLIO:** 32-2022-008-0013  
**LOCATION:** West of Oak Lane and South of Governor's Square Blvd  
**ZONING DISTRICT:** IU-C Industrial District Conditional  
**FUTURE LAND USE:** Industrial and Office (IO)

**Date:** December 6, 2016

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### REQUEST

TGC Governors Square LLC (the "Applicant") is requesting the following:

1. In accordance with Subsection 13-308(f)(2) of the Land Development Code (LDC), preliminary plat approval in order to re-plat existing portions of tracts to create a new plat with one tract of land.
2. In accordance with Section 13-204 of the LDC, Site Plan Approval to construct a four-story, 82,271 square foot office building and associated improvements.

### RECOMMENDATION

**Request #1:** It is recommended that the Town Council approve the application for Preliminary Plat approval, subject to the following conditions:

1. The approval of the preliminary plat shall be in accordance with the copy of the "Tentative Plat of "Miami Lakes Office Park Section 1" as submitted for approval to the Town Council and prepared by Schwebke-Shiskin and Associates, Inc. consisting of two (2) sheets and stamped as received by the Town on 11-1-2016.
2. The Applicant shall comply, prior to final plat approval, with all platting requirements of the Town LDC and Chapter 28 of the Miami-Dade County Code.
3. All design and engineering documents, including any required studies, required for public improvements, or Private Street, utility and infrastructure improvements required to meet the standards for public facilities per the LDC, shall be submitted concurrently with the final plat application. All required improvements shall be completed and approved by the Town, per the procedures of the LDC, prior to recording of the final plat.

4. The Applicant shall obtain approval of a final plat in accordance with the Town LDC for the requested preliminary plat, as approved herein, within one year of the date of this approval, unless an extension is granted by the Town Council in accordance with the provisions of Subsection 13-308(f)(5). If a final plat is not obtained within the prescribed time limit, then this approval shall become null and void.
5. No building permit which is dependent upon this plat shall be issued until the final plat is recorded, except as may be allowed by the LDC.

**Request #2:** It is recommended that the Town Council approve the application for Site Plan approval, subject to the following conditions:

1. The Applicant shall obtain a Certificate of Use (CU), and Business Tax Receipt (BTR), and promptly renew the BTR annually, upon compliance with all the terms and conditions of this approval, the same subject to cancellation upon violation of any of the conditions.
2. Site Plan approval herein is for those plans shown in Exhibit B.
3. Prior to the issuance of any and all CUs for businesses within the proposed office building, a transportation demand management (TDM) plan particular to said business shall be submitted to and approved by the Administrative Official. In evaluating said TDM plans, the Administrative Official shall be guided by the findings and recommendations of the Commute Trip Reduction Plan (CTRP) and any subsequent updates to the CTRP undertaken by the Town.
4. Prior to the issuance of a building permit authorizing construction of the parking lot, the Applicant shall show on building plans the proposed location of preferred carpool parking in appropriate locations and of an appropriate number considering the size of the building. The Administrative Official may deny issuance of the building permit until these plans are deemed acceptable. No final zoning inspection shall be approved until the designation of these areas on the site is verified.
5. Vested rights previously granted for "Parcel 20" by Miami-Dade County Developmental Impact Committee (DIC) Order No. MVR-2-00 are hereby reduced by 82,271 square feet, upon the issuance of building permit(s) for construction of the office building as authorized by this site plan approval.
6. No trees shall be removed except in conformance with a tree removal permit issued by the Town.
7. All signs require a separate sign permit.
8. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted within the prescribed time limit, this approval shall become null and void.

### **Background**

**Zoning District of Property:**      **IU-C Industrial District Conditional**

**Future Land Use Designation:**      **Industrial and Office (IO)**

### **Subject Property:**

The subject property is a portion of a larger parcel located on the West side of Commerce Way and South side of Governor's Blvd, which is currently vacant and used as agricultural. The existing property is 14.62 Acres of vacant land with 1.23 Acres of submerged land. It is currently zoned IU-C, and the future land use is Industrial and Office.

### **Surrounding Property:**

|                   | <b>Land Use Designation</b> | <b>Zoning District</b>               |
|-------------------|-----------------------------|--------------------------------------|
| <b>North:</b>     | INDUSTRIAL AND OFFICE (IO)  | IU-C industrial district conditional |
| <b>South:</b>     | INDUSTRIAL AND OFFICE (IO)  | IU-C industrial district conditional |
| <b>East:</b>      | INDUSTRIAL AND OFFICE (IO)  | IU-C industrial district conditional |
| <b>Southeast:</b> | INDUSTRIAL AND OFFICE (IO)  | IU-C industrial district conditional |
| <b>West:</b>      | INDUSTRIAL AND OFFICE (IO)  | IU-C industrial district conditional |

**Subject Property Location Map:**



## **SUMMARY OF PROPOSAL AND STAFF ANALYSIS**

### **Summary**

The Applicant is requesting preliminary plat approval in order create a plat with one tract of land. As proposed, the resulting plat is 7.294 Acres, with a frontage of 699.48 ft onto Oak Lane, and proposes a dedicated 58' wide ingress-egress easement, of which 29' are proposed on the subject property and 29' are on the adjacent property to the North. (See proposed Preliminary Plat in Exhibit A).

The Applicant has also requested a site plan approval to construct a four-story, 82,271 square foot office building, 527 off-street parking spaces and associated improvements on a 6.6 acre portion of the proposed tract described above. (See proposed Site Plan in Exhibit B).

An additional plat application, PLAT2016-0006, to plat the remainder of the property, is also scheduled to be heard by the Town Council at the same meeting as this plat application.

### **Preliminary Plat Analysis**

Subsection 13-308(f)(2)c.2 provides that

The Town Council may consider [1] the physical characteristics of the property, [2] the availability of community services, [3] traffic impact, [4] economic impacts, [5] appropriateness of the type and intensity of the proposed development, [6] existing and future development, [7] existing and future development patterns, [8] land development regulations, [9] relationship of the project to the capital improvements program, or [10] other such factors as may relate to the Comprehensive Plan or elements thereof.

#### **1. Physical characteristics of the property.**

The physical characteristics of the property are appropriate for the office building development proposed and which is facilitated by this preliminary plat application. The proposed use would be of the same nature as nearby properties with similar or substantially the same uses, on land with substantially the same physical characteristics.

#### **2. The availability of community services.**

The Applicant has satisfied all concurrency and public facility availability requirements for preliminary plat stage of development review. Sufficient controls are in place to ensure that development may not proceed without demonstrating availability of all services or guaranteeing such availability.

#### **3. Traffic impact.**

The subject property has existing concurrency vesting, which reflects the infrastructure investments previously made by the applicant, sufficient to allow for the proposed development program. These vested rights include consideration of traffic impact.

#### **4. Economic impacts.**

The proposed plat will have substantial economic impacts, such as economic activity generated by construction of a new office building, increased value of the subject site and thus greater tax revenue and economic activity generated by additional office space.

## **5. Appropriateness of the type and intensity of the proposed development.**

The proposed tract of land for a new office building is appropriate for the use, the existing IU-C zoning, and the proposed use on this tract of land, and is consistent with similar buildings and properties in the immediately surrounding neighborhood. The adjacent properties to the North and East have uses and improvements as follows:

- 8100 Oak Lane, - 4-story office building with surface parking.
- 8000 Governors Square Blvd - 4-story office building with surface parking.
- 7900 Oak Lane - 4-story office building with surface parking.
- 14817 Oak Lane - 1-story office building with surface parking.
- 7801 NW 78<sup>th</sup> Ave 1-story office building with surface parking.

## **6. Existing and future development.**

Impacts of the proposed development in the area were considered as part of the site plan review process, and staff has determined that all requirements would be met. The proposed development will be consistent with and similar to the existing surrounding neighborhood, as described below regarding the proposed site plan for this site (PHSP2016-0017).

## **7. Existing and future development patterns.**

The proposed subdivision of land will allow consistency with the land's future land use and zoning designations. The adjacent commercially designated land is the most likely to be impacted by the development pattern established via this plat, which is itself driven for approval by the administrative site plan review.

## **8. Land development regulations.**

The proposed preliminary plat meets all of the platting regulations in the LDC, and all requirements of its IU-C Zoning District and other applicable portions of the LDC. Though at first glance it appears that the application does not meet the requirements of Section 13-726, which states that "No application for zoning of a tract of land for IU-C or for the platting thereof shall be permitted unless such tract consist of at least ten acres of land ..." and provides a minimum frontage and depth for a "Tract" at 330 feet for each, Staff has determined that this is not the applicable requirement, for the following reasons: at Section 13-738 (which, like Section 13-726, is part of the IU-C zoning district) the Code states that "Multiple industrial uses, and platting into lots in the form of industrial park development, or waiver of plat to subdivide into lots where such tract has been platted, shall be permitted on the minimum tract described herein, subject to compliance with all applicable requirements of this chapter, and except that such lots shall have a minimum frontage of 125 feet, and a minimum depth of 150 feet." This suggests that the 10 acre minimum size and 330 feet minimum dimensions applies only to applications for new IU-C zoning or for the original platting of land for IU-C uses, and that the 125 foot minimum frontage and 150 foot minimum depth applies where a new lot configuration is requested within a larger IU-C area, particularly in the case of a replat as opposed to an original plat, both of which are the case with this application. Further support for this position is given by the approval of several plats creating smaller lot sizes than the subject application since the Town's incorporation and where IU-C zoning was in place at the time (and the same requirements were in effect), including

instances where Miami-Dade County staff was serving as Town zoning staff in the years immediately after incorporation. One such plat is the Storsafe at Miami Lakes plat (PB 162, PG 14), where tract sizes of 1.46 acres and 1.00 acres were created, and where the 125 feet minimum frontage and 150 foot minimum depth per Section 13-738 were met, but the larger dimensional requirements of Section 13-726 were not. Compliance with additional LDC requirements will be ensured through the site plan review, final plat and permitting processes, as applicable. In short, the dimensional requirements of Section 13-738 are the applicable requirement, and those requirements have been met.

**9. Relationship of the project to the capital improvements program.**

All capital improvements for which the Town is responsible necessary to serve the proposed development are already available, or will be constructed/provided by the property owner/developer. The County's tentative plat approval process (which follows preliminary plat approval by the Town) will include evaluation as to whether additional improvements may be necessary to those facilities for which the county is responsible.

**10. Other such factors as may relate to the Comprehensive Plan or elements thereof.**

The development that will be facilitated by the requested plat approval is consistent with the industrial and office (IO) future land use designation assigned this site by the Town's Comprehensive Plan. The application is not contrary to any goal, objective or policy in any element of the Town's Comprehensive Plan.

**Site Plan Analysis**

Subsection 13-304(h) provides specific criteria for review of a site plan. These criteria are listed below, with Staff Comments for each:

- (1) In what respects the plan is or is not consistent with the Comprehensive Plan, the purpose and intent of the zoning district in which it is located and any design or planning studies adopted by the Town Council that include recommendations applicable to the design of the site under review.

**Staff Comment:** This proposal is consistent with Comprehensive Plan Future Land Use Element Policy 1.1.2, and the Industrial and Office (IO) future land use designation described in said policy.

Section 13-719 of the Town LDC states the following "Purpose and intent" of the Industrial Use-Conditional (IU-C) zoning district:

The IU-C District shall be applied only to those lands that appropriately may be used and utilized for the development, construction and operation of large industrial projects and industrial park development of the nature, type and character commensurate with the public health, safety, comfort, convenience, and the general welfare of the Town. It is intended that this district shall be utilized to provide an adequate reservoir of lands suited for the needs and requirements of large industries, and industrial park

developments, to the end that desirable industrial concerns may be attracted to this area. It is intended, however, that this district shall not be used indiscriminately, so as to permit any industrial use which might be offensive or obnoxious by reason of the emanation of odors, gases, dust, noise or vibration, pollution of air or water, or otherwise detrimental to the general welfare of this community; but that it shall be restricted and confined to only those large industrial uses and industrial park type developments which produce a net gain to the community. It is recognized that the rapid development of new and different industrial uses and operations makes it impossible and impractical to accurately enumerate those which would be beneficial or detrimental to the welfare of this community. Therefore, the intent and purpose for the establishment of this district is expressly set forth, and standards set forth for the use of lands embraced within this district.

Much of this purpose and intent speaks to the application of the IU-C district, in other words the rezoning of land to the district, whereas in this case the subject property is currently zoned IU-C, and the Applicant seeks development consistent with the IU-C district's requirements. Further, the proposed office building use requested does not give rise to "offensive and obnoxious" concerns, and in fact is consistent with the predominant development pattern in the immediate vicinity, where many other properties in the IU-C district include existing office uses.

There are no design or planning studies with direct applicability to the design of the subject site. The Greenways and Trails Master Plan identifies the adjacent Commerce Way/Oak Lane as being a "future on-road facility" (i.e. bike lanes or similar), which does not impact the design of the subject site itself. While the Commute Trip Reduction Plan (CTRP) has not been adopted by the Council, its conclusions and recommendations are a useful tool, and Staff has recommended appropriate conditions to mitigate the proposed development's peak hour traffic impact.

- (2) In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.

**Staff Comment:** The proposed site plan meets all requirements of the IU-C zoning district, including building setbacks, permitted uses, intensity, building heights, building size, minimum landscaped open space and other landscaping requirements. The proposed site plan additionally meets all other requirements of the LDC, including parking requirements, landscaping requirements per Chapter 18-A, etc.

- (3) In what respects the plan is or is not in conformance with the Town requirements including the design and construction of streets, utility facilities and other essential services.

**Staff Comment:** As addressed in the portion of this staff report regarding the requested preliminary plat approval, the any additional utility facilities will be identified and provided for through the platting process. No streets are to be constructed within the area covered this site plan application.

- (4) In what respects the plan is or is not consistent with good design standards in respect to all external relationships including but not limited to:
- a. Relationship to adjoining properties, including the arrangement of buildings and landscape to produce spatial relationships that are compatible with, and complementary to, the development and zoning in adjoining areas.
  - b. Internal and external circulation, including vehicular, bicycle and pedestrian. Circulation systems shall serve the needs of the development and be compatible with, and functionally integrate with, circulation systems outside the development. Vehicular traffic from non-residential development shall be routed so as to minimize impacts on residential development.
  - c. Disposition of open space, use of screening or buffering where appropriate to provide a logical transition to existing, permitted or planned uses on adjoining properties.
  - d. Landscaping that enhances architectural features, strengthens vista and important axes, provides shade, blocks noise generated by major roadways and intense-use areas and, to the maximum extent practicable, preserves existing trees on-site.
  - e. Appropriate scale of proposed structures to be compatible with and complementary to existing, permitted or planned uses on adjoining properties and in the immediate area.
  - f. All outdoor lighting, signs or permanent outdoor advertising or identification features shall be designed as an integral part of and be harmonious with building design and the surrounding landscape.
  - g. Service areas which may be provided shall be screened and so located as not to be visible from the public right-of-way and other properties.
  - h. Design of the site shall ensure adequate access for emergency vehicles and personnel.
  - i. Design of the site shall utilize strategies to provide for the conservation of energy and natural resources, including water.

**Staff Comment:** The proposed site design is consistent and compatible with adjoining areas and conforms to the existing predominant development pattern in the area of IU-C-zoned properties. Proposed vehicular access points have been coordinated with the external circulation system, with the main vehicular access

point on Oak Lane aligned with NW 148<sup>th</sup> Street, thereby avoiding an access point midway between NW 148<sup>th</sup> Street and NW 146<sup>th</sup> Street, which would create a more dangerous situation for drivers. The remaining two access points are onto the private street Governor's Square Boulevard, allowing that private street to act as collector of traffic from both this proposed development and existing offices uses to the north, then flowing to Oak Lane at a common point. The site plan also includes a pedestrian walk connecting the proposed office building with the existing sidewalk on the west side of Oak Lane.

To the south of the subject property, a concurrent replatting application indicates an intention to develop a multifamily residential project, thus a direct connection is not appropriate in this circumstance. Proposed landscaping enhances the design of both the site and building, and provides an appropriate buffer to the proposed residential uses to the south.

- (5) In what respects the plan is or is not in conformance with the Town policy in respect to sufficiency of ownership, guarantee for completion of all required improvements and the guarantee for continued maintenance.

**Staff Comment:** The application conforms with the Town's requirements concerning sufficiency of ownership. The entirety of the property will be retained under one ownership and maintenance of the property will be the responsibility of the property owner, and may be enforced through the provisions of the Town Code.

## **RECOMMENDATION**

Therefore, based on the above analysis and other factors contained in this report, Staff recommends:

### **Request #1: Approval, subject to the following conditions:**

1. The approval of the preliminary plat shall be in accordance with the copy of the "Tentative Plat of "Miami Lakes Office Park Section 1" as submitted for approval to the Town Council and prepared by Schwebke-Shiskin and Associates, Inc. consisting of two (2) sheets and stamped as received by the Town on 11-1-2016.
2. The Applicant shall comply, prior to final plat approval, with all platting requirements of the Town LDC and Chapter 28 of the Miami-Dade County Code.
3. All design and engineering documents, including any required studies, required for public improvements, or Private Street, utility and infrastructure improvements required to meet the standards for public facilities per the LDC, shall be submitted concurrently with the final plat application. All required improvements shall be completed and approved by the Town, per the procedures of the LDC, prior to recording of the final plat.
4. The Applicant shall obtain approval of a final plat in accordance with the Town LDC for the requested preliminary plat, as approved herein, within one year of the date of this approval, unless an extension is granted by the Town Council in accordance with the provisions of Subsection 13-308(f)(5). If a final plat is not obtained within the prescribed time limit, then this approval shall become null and void.
5. No building permit which is dependent upon this plat shall be issued until the final plat is recorded, except as may be allowed by the LDC.

### **Request #2: Approval, subject to the following conditions:**

1. The Applicant shall obtain a Certificate of Use (CU), and Business Tax Receipt (BTR), and promptly renew the BTR annually, upon compliance with all the terms and conditions of this approval, the same subject to cancellation upon violation of any of the conditions.
2. Site Plan approval herein is for those plans shown in Exhibit B.
3. Prior to the issuance of any and all CUs for businesses within the proposed office building, a transportation demand management (TDM) plan particular to said business shall be submitted to and approved by the Administrative Official. In evaluating said TDM plans, the Administrative Official shall be guided by the findings and recommendations of the Commute Trip Reduction Plan (CTRP) and any subsequent updates to the CTRP undertaken by the Town.
4. Prior to the issuance of a building permit authorizing construction of the parking lot, the Applicant shall show on building plans the proposed location of preferred carpool parking in appropriate locations and of an appropriate number considering the size of the building. The Administrative Official may deny issuance of the building permit until these plans are deemed acceptable. No final zoning inspection shall be approved until the designation of these areas on the site is verified.
5. Vested rights previously granted for "Parcel 20" by Miami-Dade County Developmental Impact Committee (DIC) Order No. MVR-2-00 are hereby reduced by 82,271 square feet, upon the issuance of building permit(s) for construction of the office building as authorized by this site plan approval.
6. No trees shall be removed except in conformance with a tree removal permit issued by the Town.
7. All signs require a separate sign permit.

8. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted within the prescribed time limit, this approval shall become null and void.

**RESOLUTION NO. 16-\_\_\_\_\_**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF MIAMI LAKES, FLORIDA, APPROVING A REQUEST IN ACCORDANCE WITH SUBSECTION 13-308(F)(2) OF THE LAND DEVELOPMENT CODE FOR A PRELIMINARY PLAT ENTITLED “BOB GRAHAM BUILDING”, APPROVING A SITE PLAN IN ACCORDANCE WITH SECTION 13-304 OF THE LAND DEVELOPMENT CODE, SUBMITTED FOR PROPERTY LOCATED WEST OF OAK LANE AND SOUTH OF GOVERNOR’S SQUARE BOULEVARD, MIAMI LAKES, FLORIDA, IN THE IU-C ZONING DISTRICT; PROVIDING FINDINGS; PROVIDING FOR APPROVAL; PROVIDING FOR CONDITIONS; PROVIDING FOR VIOLATION OF CONDITIONS; PROVIDING FOR APPEAL; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, pursuant to Subsection 13-308(f)(2) and Section 13-304 of the Town of Miami Lakes (“Town”) Land Development Code (“LDC”), TGC Governor’s Square, LLC (the “Applicant”) has applied to the Town for approval of a Preliminary Plat, a copy of the Plat being attached hereto as **Exhibit “A”** and incorporated herein by reference (“Preliminary Plat”), and for approval of a Site Plan, a copy of the Site Plan being attached hereto as **Exhibit “B”**, for property generally located on the west side of Oak Lane and south of Governor’s Square Boulevard, which includes a portion of Miami-Dade Tax Folio No. 32-2022-008-0013 (“Property”), as legally described in **Exhibit “C”**, and containing approximately 7.29 acres of land; and

**WHEREAS**, Subsection 13-308(f)(2) of the Town LDC sets forth the authority of the Town Council to consider and act upon an application for a preliminary plat; and

**WHEREAS**, Section 13-304 of the Town LDC sets forth the authority of the Town Council to consider and act upon the subject application for a site plan approval; and

**WHEREAS**, in accordance with Section 13-309 of the Town LDC, proper notice was mailed to the appropriate property owners of record, the property was posted as required and the hearing was duly advertised in the newspaper; the public hearing on the Preliminary Plat was noticed for Tuesday, December 6, 2016, at 6:30 P.M. at Town Hall, 6601 Main Street, Miami Lakes, Florida; and all interested parties have had the opportunity to address their comments to the Town Council; and

**WHEREAS**, Town staff has reviewed the application and recommends approval subject to conditions, of the request for Preliminary Plat Approval, and approval subject to conditions of the request for Site Plan Approval, as set forth in the Town of Miami Lakes Staff Analysis and Recommendation, a copy of which is on file in the Town of Miami Lakes Clerk's Office and incorporated into this Resolution by reference.

**WHEREAS**, the Director of Planning, acting as the Administrative Official, has determined that the Applicant has met the conditions and prerequisites imposed in Section 13-308 of the LDC; and

**WHEREAS**, the Town Council, in accordance with Section 13-308(f)(2)(c)(3) has considered the physical characteristics of the property, the availability of community services, traffic impact, economic impacts, appropriateness of the type and intensity of the proposed development, existing and future development, existing and future development patterns, compliance with land development regulations, relationship of the project to the capital improvements program; and other such factors as may relate to the Comprehensive Plan or elements thereof; and

**WHEREAS**, the Town Council has considered the written recommendations of staff, any other reviewing agencies, and presentations by the public.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE  
TOWN OF MIAMI LAKES, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals.** The above Recitals are true and correct and incorporated herein by this reference.

**Section 2. Findings.**

In accordance with Section 13-308(f)(2), the Town Council finds that the application meets the criteria for a preliminary plat approval which are as follows:

1. Physical characteristics of the property; and
2. The availability of community services; and
3. Traffic impact; and
4. Economic impacts; and
5. Appropriateness of the type and intensity of the proposed development; and
6. Existing and future development; and
7. Existing and future development patterns; and
8. Compliance with land development regulations; and
9. Relationship of the project to the capital improvements program; and
10. Other such factors as may relate to the Comprehensive Plan or elements thereof.

In accordance with Subsection 13-304(h), the Town Council finds that the Application does meet the criteria for Site Plan Approval which are as follows:

1. In what respects the plan is or is not consistent with the Comprehensive Plan, the purpose and intent of the zoning district in which it is located and any design or planning studies adopted by the Town Council that include recommendations applicable to the design of the site under review.
2. In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.
3. In what respects the plan is or is not in conformance with the Town requirements including the design and construction of streets, utility facilities and other essential services.
4. In what respects the plan is or is not consistent with good design standards in respect to all external relationships including but not limited to:
  - a. Relationship to adjoining properties, including the arrangement of buildings and landscape to produce spatial relationships that are compatible with, and complementary to, the development and zoning in adjoining areas.

- b. Internal and external circulation, including vehicular, bicycle and pedestrian. Circulation systems shall serve the needs of the development and be compatible with, and functionally integrate with, circulation systems outside the development. Vehicular traffic from nonresidential development shall be routed so as to minimize impacts on residential development.
  - c. Disposition of open space, use of screening or buffering where appropriate to provide a logical transition to existing, permitted or planned uses on adjoining properties.
  - d. Landscaping that enhances architectural features, strengthens vista and important axes, provides shade, blocks noise generated by major roadways and intense-use areas and, to the maximum extent practicable, preserves existing trees on-site.
  - e. Appropriate scale of proposed structures to be compatible with and complementary to existing, permitted or planned uses on adjoining properties and in the immediate area.
  - f. All outdoor lighting, signs or permanent outdoor advertising or identification features shall be designed as an integral part of and be harmonious with building design and the surrounding landscape.
  - g. Service areas which may be provided shall be screened and so located as not to be visible from the public right-of-way and other properties.
  - h. Design of the site shall ensure adequate access for emergency vehicles and personnel.
  - i. Design of the site shall utilize strategies to provide for the conservation of energy and natural resources, including water.
5. In what respects the plan is or is not in conformance with the Town policy in respect to sufficiency of ownership, guarantee for completion of all required improvements and the guarantee for continued maintenance.

**Section 3. Approval.** The Preliminary Plat is hereby approved, subject to conditions as set out in Section 4. The Site Plan is hereby approved, subject to conditions as set out in Section 5.

**Section 4. Conditions of Preliminary Plat Approval.** The Town Council approved the Preliminary Plat in Section 3, subject to the following conditions:

- 1. The approval of the preliminary plat shall be in accordance with the copy of the “Tentative Plat of “Miami Lakes Office Park Section 1” as submitted for approval to the Town Council and prepared by Schwebke-Shiskin and Associates, Inc. consisting of two (2) sheets and stamped as received by the Town on 11-1-2016.

2. The Applicant shall comply, prior to final plat approval, with all platting requirements of the Town LDC and Chapter 28 of the Miami-Dade County Code.
3. All design and engineering documents, including any required studies, required for public improvements, or Private Street, utility and infrastructure improvements required to meet the standards for public facilities per the LDC, shall be submitted concurrently with the final plat application. All required improvements shall be completed and approved by the Town, per the procedures of the LDC, prior to recording of the final plat.
4. The Applicant shall obtain approval of a final plat in accordance with the Town LDC for the requested preliminary plat, as approved herein, within one year of the date of this approval, unless an extension is granted by the Town Council in accordance with the provisions of Subsection 13-308(f)(5). If a final plat is not obtained within the prescribed time limit, then this approval shall become null and void.
5. No building permit which is dependent upon this plat shall be issued until the final plat is recorded, except as may be allowed by the LDC.

**Section 5. Conditions of Site Plan Approval.** The Town Council approved the Site Plan in Section 3, subject to the following conditions:

1. The Applicant shall obtain a Certificate of Use (CU), and Business Tax Receipt (BTR), and promptly renew the BTR annually, upon compliance with all the terms and conditions of this approval, the same subject to cancellation upon violation of any of the conditions.
2. Site Plan approval herein is for those plans shown in Exhibit B.

3. Prior to the issuance of any and all CUs for businesses within the proposed office building, a transportation demand management (TDM) plan particular to said business shall be submitted to and approved by the Administrative Official. In evaluating said TDM plans, the Administrative Official shall be guided by the findings and recommendations of the Commute Trip Reduction Plan (CTRP) and any subsequent updates to the CTRP undertaken by the Town.
4. Prior to the issuance of a building permit authorizing construction of the parking lot, the Applicant shall show on building plans the proposed location of preferred carpool parking in appropriate locations and of an appropriate number considering the size of the building. The Administrative Official may deny issuance of the building permit until these plans are deemed acceptable. No final zoning inspection shall be approved until the designation of these areas on the site is verified.
5. Vested rights previously granted for “Parcel 20” by Miami-Dade County Developmental Impact Committee (DIC) Order No. MVR-2-00 are hereby reduced by 82,271 square feet, upon the issuance of building permit(s) for construction of the office building as authorized by this site plan approval.
6. No trees shall be removed except in conformance with a tree removal permit issued by the Town.
7. All signs require a separate sign permit.
8. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted within the prescribed time limit, this approval shall become null and void.

**Section 6. Violation of Conditions.** Failure to adhere to the terms and conditions of this Resolution shall be considered a violation of the Town LDC and persons found violating the conditions shall be subject to the penalties prescribed by the Town LDC, including but not limited to, the revocation of any of the approval(s) granted in this Resolution. The Applicant understands and acknowledges that it must comply with all other applicable requirements of the Town LDC before it may commence operation, and that the foregoing approval in this Resolution may be revoked by the Town at any time upon a determination that the Applicant is in non-compliance with the Town LDC.

**Section 7. Appeal.** In accordance with Section 13-310 of the Town LDC, the Applicant of any affected party may appeal this decision by filing of a notice of appeal in accordance with the Florida Rules of Appellate Procedure.

**Section 8. Effective Date.** This Resolution shall take effect immediately.

**PASSED AND ADOPTED** this 6th day of December, 2016.

Motion to adopt by \_\_\_\_\_, second by \_\_\_\_\_.

## FINAL VOTE AT ADOPTION

|                                |       |
|--------------------------------|-------|
| Mayor Manny Cid                | _____ |
| Vice Mayor Tim Daubert         | _____ |
| Councilmember Luis Collazo     | _____ |
| Councilmember Tony Lama        | _____ |
| Councilmember Ceasar Mestre    | _____ |
| Councilmember Frank Mingo      | _____ |
| Councilmember Nelson Rodriguez | _____ |

\_\_\_\_\_  
Manny Cid  
MAYOR

Attest:

Approved as to Form and Legal Sufficiency

\_\_\_\_\_  
Gina Inguanzo  
TOWN CLERK

\_\_\_\_\_  
Raul Gastesi  
TOWN ATTORNEY

**Exhibit A**  
**Preliminary Plat**

**Exhibit B**

**Site Plan**

## **Exhibit C**

### **Legal Description**

A PORTION OF TRACTS 10, 11, AND 12 IN SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION" AS RECORDED IN PLAT BOOK 2 AT PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE MOST EASTERLY CORNER OF TRACT "A", "MIAMI LAKES LAKESIDE CORPORATE CENTER", AS RECORDED IN PLAT BOOK 150 AT PAGE 96 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTH 42 DEGREES 29 MINUTES 17 SECONDS WEST ALONG THE NORTHEASTERLY BOUNDARY SAID TRACT A FOR 339.77 FEET; THENCE NORTH 44 DEGREES 42 MINUTES 10 SECONDS WEST ALONG THE NORTHEASTERLY LINE OF TRACT "C" OF THE SAID PLAT OF "MIAMI LAKES LAKESIDE CORPORATE CENTER" FOR 62.17 FEET; THENCE NORTH 6 DEGREES 46 MINUTES 44 SECONDS EAST FOR 181.82 FEET; THENCE EAST FOR 568.02 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF COMMERCE WAY (INDUSTRIAL WAY) AS SHOWN ON THE PLAT OF "MIAMI LAKES INDUSTRIAL PARK SECTION TEN" AS RECORDED IN PLAT BOOK 118 AT PAGE 33 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID POINT BEARS SOUTH 77 DEGREES 35 MINUTES 24 SECONDS EAST FROM THE FOLLOWING DESCRIBED CIRCULAR CURVE; THENCE SOUTHWESTERLY ALONG A CIRCULAR CURVE TO THE RIGHT, HAVING FOR ITS ELEMENTS A RADIUS OF 752.64 FEET AND A CENTRAL ANGLE OF 35 DEGREES 06 MINUTES 07 SECONDS FOR AN ARC DISTANCE OF 461.10 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 47 DEGREES 30 MINUTES 43 SECONDS WEST FOR 121.45 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 4.164 ACRES MORE OR LESS. (THE LAST TWO COURSES BEING ALONG THE WESTERLY RIGHT-OF-WAY LINE OF COMMERCE WAY (INDUSTRIAL WAY) AS SHOWN ON THE AFORESAID PLAT OF "MIAMI LAKES INDUSTRIAL PARK SECTION TEN").

BEING A REPLAT OF A PORTION OF TRACT "A", "MIAMI LAKES OFFICE PARK SECTION ONE", PLAT BOOK 125 AT PAGE 56, AND A PORTION OF TRACTS 22 AND 23 IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION", PLAT BOOK 2 AT PAGE 68, BOTH OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
LYING AND BEING IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA

**Schwabke - Shiskin & Associates, Inc.**  
 LAND PLANNERS      ENGINEERS      No. LB # 87      LAND SURVEYORS  
 3240 CORPORATE WAY, MIRAMAR, FLORIDA 33025  
 TEL: (954) 435-7010 FAX: (954) 438-3288 DADE: (305) 652-7010 FAX: (305) 652-8284  
 ORLANDO NO. 205787 DATE: MAY 9, 2016 FIELD BOOK 2020/2021 PG. 70



SCALE: 1' = 300'

THIS SKECH REPRESENTS AN "AL.T.I.A./N.P.S.D. LAND TITLE SURVEY" FOR "TENTATIVE PLAT" PURPOSES.

THERE ARE NO VISIBLE ENCROACHMENTS, OTHER THAN THOSE SHOWN HEREON.

THE ELEVATIONS SHOWN HEREON RELATE TO THE NATIONAL GEODETIC DATUM (N.G.V.D.) OF 1929 AND ARE EXPRESSED IN FEET.

VARIABLES SUCH AS UTILITIES NOT SHOWN ON THIS MAP HAVE BEEN ATTEMPTED TO AS-BUILT BY UNDERGROUND UTILITIES EITHER SERVING OR APPURTENANT TO ANY OF THE UTILITY IMPROVEMENTS SERVING THE SUBJECT SITE. (WATER, SEWER, DRAINAGE OR SITE LIGHTING).

NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE WALL OR FENCE FOOTERS/FOUNDATIONS.

THE DISTANCE BETWEEN ANY TWO CORNERS OF ANY LOT HEREON ARE RECORDED AND UNLESS NOTED OTHERWISE,

THE PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONE "AE" (BASE FLOOD ELEVATION) PER FLOD INSURANCE RATE MAP NO. 12068G0121L, COMMUNITY NO.12068HE, PANEL NO. 0112, SUFTPLX L, MAP NAME AND INDEX MAP DATED SEPTEMBER 11, 2009.

THIS SKECH HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITY (ENTITIES) NAMED HEREON. THE CERTIFICATION SHOWN HEREON DOES NOT EXTEND TO ANY OTHER PARTIES.

IF THERE IS SUBJECT TO U.NEAMENTS, RIGHTS-OF-WAY AND OTHER MATTERS THAT MAY BE REFLECTED BY A SEARCH OF TITLE TO THE SUBJECT LANDS:

APPLICABLE BUILDING SETBACK LINES AFFECTING THE SUBJECT PROPERTY, UNLESS NOTED OTHERWISE, ARE NOT SHOWN HEREON. VARIANCES FROM APPLICABLE SETBACKS MAY BE BASED ON SITE PLAN APPROVALS OBTAINED DURING PERMITTING PROCESS.

BENCHMARK A: NAME = N-626, MMAM--DADE COUNTY P-K NAIL & BRASS DISC IN CONCRETE CUTTER GULFSTREAM FROM P.B.L.--STATION AT THE INTERSECTION OF NW. 138TH STREET (PALMETTO FRONTAGE ROAD) AND NW. 80TH AVENUE. ELEVATION=7.27 N.G.V.D. 1929.

BENCHMARK B: NAME=N-632, MMAM--DADE COUNTY P-K NAIL & BRASS WASHER IN CONCRETE SIDEWALK 12' EAST OF FIRE HYDRANT ON BURRICK ROAD AT INTERSECTION OF INTERSECTION OF HWY#12 AND HWY#11. ELEVATION=7.28 N.G.V.D. 1929.

UNLESS STATED OTHERWISE, THIS FIRM DOES NOT CERTIFY THE EXTENT TO WHICH THE SUBJECT PROPERTY COMPLEES WITH APPLICABLE ZONING REGULATIONS, REGULATIONS AND/OR RESTRICTIONS.

THE BEARINGS SHOWN HEREON RELATE TO AN ASSUMED BEARING (N007°01'17"E ALONG THE CENTERLINE OF INDUSTRIAL WAY PER PLAT

THE REVIEW AND EXAMINATION OF TITLE EXCEPTIONS, WHEN CONDUCTED BY THIS FIRM, HAS BEEN PERFORMED UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND MAPPER. THE ATTENDING SURVEYOR AND MAPPER IS NEITHER TRAINED NOR LICENSED TO PROVIDE LEGAL ANALYSIS, INTERPRETATION, OR CONCLUSIONS ABOUT THE DOCUMENTS AND INSTRUMENTS REFERENCED IN ANY SUCH TITLE EXCEPTIONS AND THEREFORE SUCH INFORMATION SHOULD BE OBTAINED FROM A QUALIFIED ATTORNEY.

THERE ARE NO UNDERGROUND PUBLIC UTILITIES LYING WITHIN THE BOUNDARY OF THE SUBJECT PROPERTY. ALL PUBLIC UTILITIES [EXCLUDING SERVICE LINES SERVING THE SUBJECT PROPERTY] LIE WHOLLY WITHIN PUBLICLY DEDICATED RIGHTS-OF-WAY. ALL UNDERGROUND INFORMATION, WHEN PROVIDED BY OTHERS, IS SUBJECT TO THE ACCURACY OF THE INFORMATION PROVIDED. LACKING EXCAVATION, THE BEST AVAILABLE OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

THE SUBJECT SITE HAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADJUSTIONS.

THE SUBJECT SITE HAS NO OBSERVED EVIDENCE OF HAVING BEEN USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

FOR YOUR KNOWLEDGE, IF YOU BELIEVE THERE IS RESORTED TO ANY REMEDIATION, INVESTIGATION, OR MONITORING OF CONTAMINATION, THE SUBJECT PROPERTY HAS DIRECT ACCESS TO CHOCOMAIVE WAY (INDUSTRIAL WAY), A DEDICATED PUBLIC RIGHT-OF-WAY.

A PORTION OF TRACT "A," ACCORDING TO THE PLAT OF "MIAMI LAKES OFFICE PARK SECTION ONE," AS RECORDED IN PLAT BOOK 125 AT PAGE 56; TOGETHER WITH A PORTION OF TRACTS 22 AND 23 IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION," AS RECORDED IN PLAT BOOK 2 AT PAGE 68, BOTH OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE MOST EASTERLY CORNER OF SAID TRACT A," AS SHOWN ON THE SAID PLAT OF "MIAMI LAKE OFFICIAL PARK SECTION ONE," THENCE SOUTH 00 DEGREES 07 MINUTES 01 SECONDS WEST, ALONG THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL WAY (COMMERCIAL WAY), AS SHOWN ON THE PLAT OF "MIAMI LAKES INDUSTRIAL PARK SECTION NINE," AS RECORDED IN PLAT BOOK NO. 16, PAGE 18, OF PUBLIC RECORDS OF DADE COUNTY, FLORIDA; THENCE SOUTHWESTERLY AND WESTERLY, ALONG THE ARC OF A CIRCULAR CURVE TO THE RIGHT, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 15.00 FEET AND A CENTRAL ANGLE OF 89 DEGREES 52' 15 SECONDS EAST, WITHIN AN ARC DISTANCE OF 23.53 FEET TO POINT OF TANGENCY, THENCE SOUTH 89 DEGREES 52 MINUTES 15 SECONDS WEST, ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 90.00 FEET AND A CENTRAL ANGLE OF 26 DEGREES 37 MINUTES 31 SECONDS EAST, AT RIGHT ANGLES TO THE LAST AND NEXT DESCRIBED COURSES, FOR 18.00 FEET, THENCE NORTH 63 DEGREES 22 MINUTES 29 SECONDS WEST FOR 158.04 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 01 SECONDS EAST FOR 1.63 FEET, THENCE NORTH 89 DEGREES 52 MINUTES 15 SECONDS WEST, ALONG THE ARC OF A CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 243.00 FEET AND A CENTRAL ANGLE OF 62 DEGREES 48 MINUTES 30 SECONDS, FOR AN ARC DISTANCE OF 266.38 FEET TO A POINT (FROM SAID POINT A LINE BEARS NORTH 62 DEGREES 55 MINUTES 55 SECONDS EAST FOR A DISTANCE OF 315.95 FEET TO A POINT ON THE NEXT DESCRIBED CIRCULAR CURVE); THENCE SOUTH 89 DEGREES 52 MINUTES 15 SECONDS EAST FOR A DISTANCE OF 315.95 FEET TO A POINT ON THE NEXT DESCRIBED CIRCULAR CURVE; (FROM SAID POINT A LINE BEARS NORTH 66 DEGREES 04 MINUTES 05 SECONDS EAST TO THE RADIIUS POINT OF THE NEXT DESCRIBED COURSE); THENCE RUN SOUTHEASTERLY AND EASTERLY ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 250.00 FEET AND A CENTRAL ANGLE OF 49 DEGREES 03 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 220.00 FEET TO A POINT OF TANGENCY, THENCE SOUTH 89 DEGREES 52 MINUTES 15 SECONDS EAST FOR 319.48 FEET TO A POINT OF CURVATURE, THENCE RUN EASTERLY AND NORTHEASTERLY, ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 250.00 FEET AND A CENTRAL ANGLE OF 49 DEGREES 03 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 220.00 FEET TO A POINT OF TANGENCY, THENCE SOUTH 89 DEGREES 52 MINUTES 15 SECONDS EAST FOR 319.48 FEET TO A POINT OF CURVATURE, THENCE RUN SOUTHERLY AND SOUTHWESTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE RIGHT, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 590.00 FEET AND A CENTRAL ANGLE OF 49 DEGREES 03 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 502.22 FEET TO THE POINT OF BEGINNING; SAID COURSE BEING ADJACENT TO THE WEST AND NORTHWEST CORNERS OF THE LANDS OF THE CITY OF MIAMI, DATED JANUARY 1, 1924, ALL BEING AND BEING IN THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA.

## EFFECTIVE DATE: SEPTEMBER 28, 2016 AT 11:00 PM

- 1) RESTRICTIONS, DEDICATIONS AND EASEMENTS SET FORTH IN PLAT OF MIAMI LAKES OFFICE PARK SECTION ONE, RECORDED IN PLAT BOOK 125, AT PAGE 56, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
AFFECTS - ALL PLOTTABLE ITEMS SHOWN ON SURVEY
- 2) RESERVATIONS CONTAINED IN DEED FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA RECORDED AUGUST 6, 1925, IN DEED BOOK 560, PAGE 285 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
AFFECTS - NOT PLOTTABLE
- 3) RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY, IF ANY, IN THE PLAT OF CHAMBER'S LAND COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 68, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
AFFECTS - ALL PLOTTABLE ITEMS SHOWN ON SURVEY
- 4) EASEMENT TO MIAMI-DADE COUNTY RECORDED NOVEMBER 15, 1989, IN OFFICIAL RECORDS BOOK 14326, AT PAGE 1751, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
AFFECTS - SHOWN ON SURVEY
- 5) EASEMENT AGREEMENT RECORDED SEPTEMBER 2, 1998, IN OFFICIAL RECORDS BOOK 13809, AT PAGE 3459, AS AMENDED BY AMENDMENT TO EASEMENT RECORDED JUNE 23, 1989, IN OFFICIAL RECORDS BOOK 14154, AT PAGE 1367 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FURTHER AMENDED BY SECOND AMENDMENT TO EASEMENT RECORDED SEPTEMBER 25, 1992 IN OFFICIAL RECORDS BOOK 15661, PAGE 861 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, AND FURTHER AMENDED BY THIRD AMENDMENT TO EASEMENT RECORDED OCTOBER 26, 2009 IN OFFICIAL RECORDS BOOK 27060, PAGE 2827 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
AFFECTS - SHOWN ON SURVEY

ELEVATIONS RELATE TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 1929)

OWNER: THE GRAHAM COMPANIES  
6843 MAIN STREET  
MIAMI LAKES, FLORIDA 33014-2048

- \* NUMBER OF PARCELS: 1
- \* AREA OF PARCEL: 7,294+ NET ACRES (31,727 NET SQUARE FEET)
- \* PROPOSED USE: 4-STORY OFFICE BUILDING (28,903 SQUARE FEET)
- \* UTILITY SERVICE: MIAMI-DADE WATER AND SEWER DEPARTMENT (W.A.S.D.)
- \* CURRENT ZONING: W-C (INDUSTRIAL DISTRICT-CONDITIONAL)
- \* MIAMI-DADE COUNTY, FLORIDA, FLUID CRITERIA: 6.5 (PER PLAT BOOK 120, PAGE 13, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA)
- \* THE PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONE "A" (FLOOD ELEVATION 6) PER FLOOD INSURANCE RATE MAP NO. 12088C0112L, COMMUNITY NO.120866, FIRM NO. 0112, SUFFIX L, MAP PAN AND INDEX DATA DATED 1994
- \* MIAMI-DADE COUNTY, FLORIDA, TAX FOLIO NOS.: PORTIONS OF 32-2022-008-0013; 32-2022-001-0230; 32-2022-001-0220

82,903 SQUARE FEET OFFICE SPACE

AREA TABULATION:  
NET AREA (LIMIT OF PLAT) - 317,727± NET SQUARE FEET / 7.294± NET ACRES

NAME: STUART S. WYLLIE, PRESIDENT  
C/O THE GRAHAM COMPANIES

TELEPHONE: (305) 821-1130 (BUSINESS)  
FAX NUMBER: (305) 820-1655  
E-MAIL ADDRESS: [stu.wyllie@grahamcos.com](mailto:stu.wyllie@grahamcos.com)

CURRENT ZONING: IU-C (INDUSTRIAL DISTRICT-CONDITIONAL)  
SINGLE FAMILY ATTACHED UNITS: 0  
SINGLE FAMILY DETACHED UNITS: 0  
MULTI-FAMILY UNITS: 0  
NET AREA OF LAND (LIMIT OF PLAY)  
317,727± SQUARE FEET  
7.294± ACRES  
GROSS AREA (TO & OF ADJACENT R/W): 343,304± SQUARE FEET  
7.881± ACRES

[illegible]

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELDWORK WAS COMPLETED ON JUNE 29, 2016.

I HEREBY CERTIFY TO THE HEREIN NAMED FIRM(S) AND/OR PERSON(S) THAT THE "BOUNDARY SURVEY," ALSO BEING A "FUTURATIVE PLAT," OF THE HEREIN DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION ON JUNE 29, 2016. THIS SURVEY COMPLIES WITH THE STANDARDS FOR PRACTICE REQUIREMENTS AS SET FORTH IN RULES 5J-17.051 AND 5J-17.052, AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

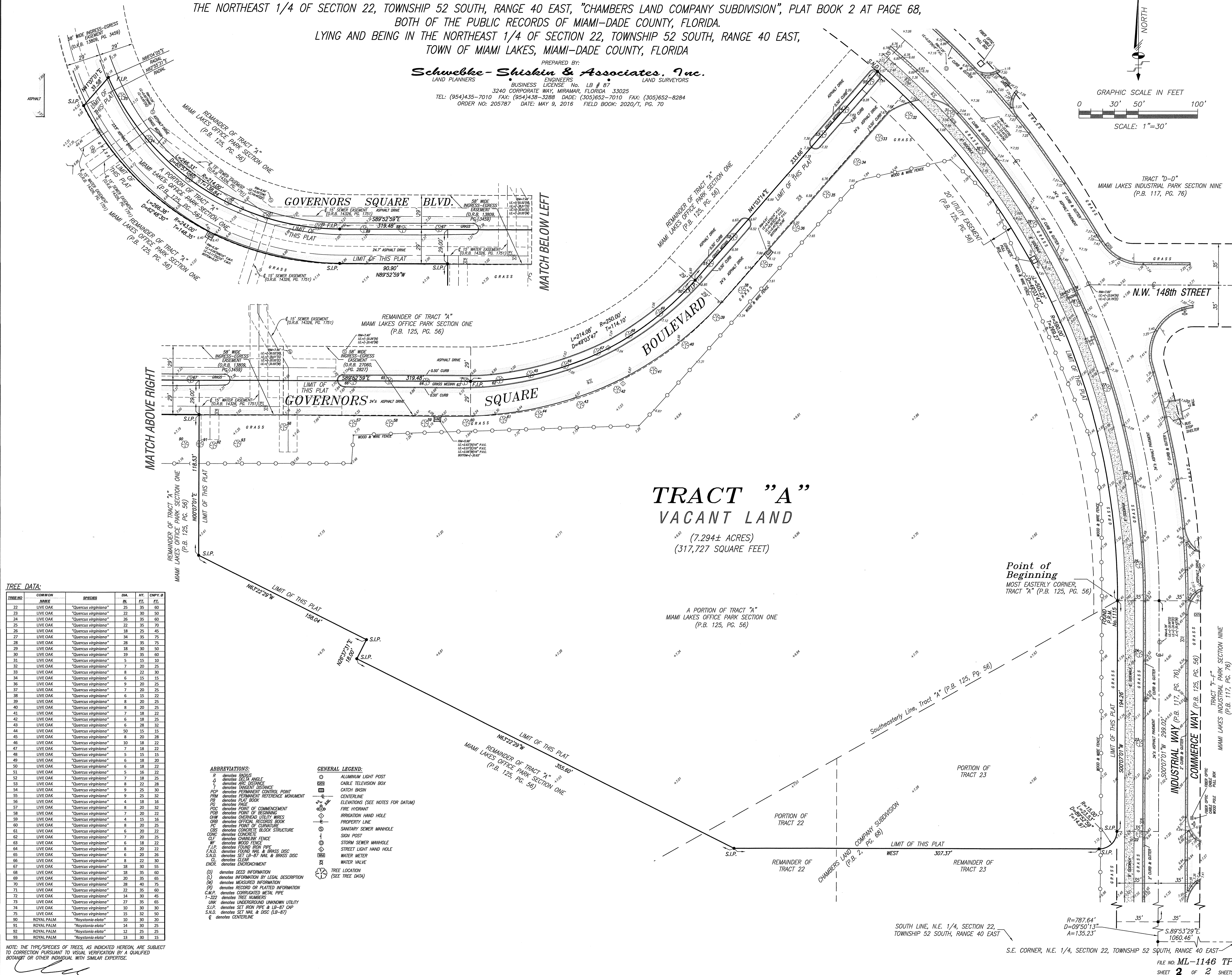
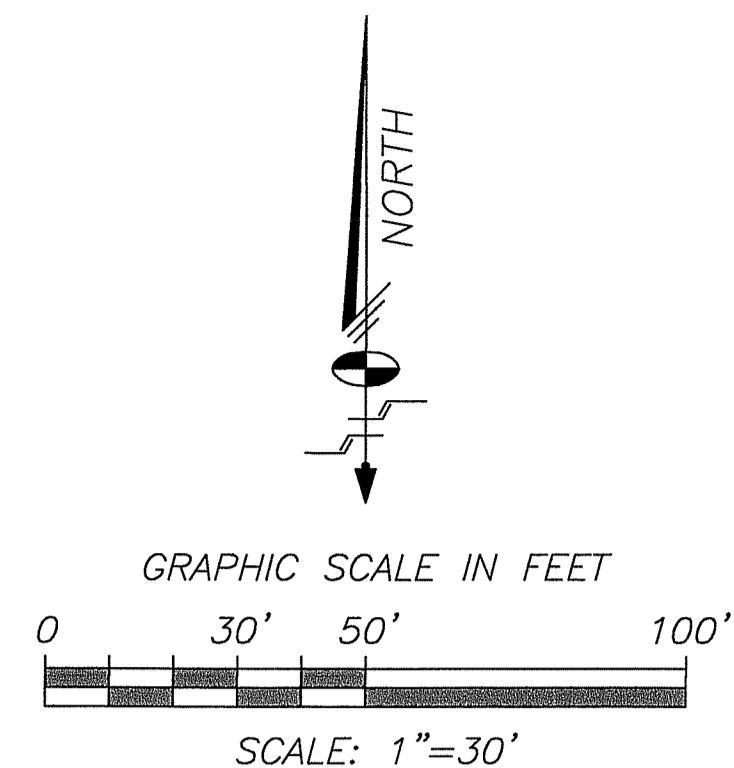
**Schwelke-Shiskin and Associates, Inc.** (BUSINESS LICENSE LB#87)  
3240 CORPORATE WAY, MIRAMAR, FLORIDA 33025 TEL: (954) 435-7010 FAX: (954) 438-3288

BY: MARK STEVEN JOHNSON, PRINCIPAL  
PROFESSIONAL SURVEYOR & MAPPER NO. 4775  
STATE OF FLORIDA

- TENTATIVE PLAT -  
BOB GRAHAM BUILDING

BEING A REPLAT OF A PORTION OF TRACT "A", "MIAMI LAKES OFFICE PARK SECTION ONE", PLAT BOOK 125 AT PAGE 56, AND A PORTION OF TRACTS 22 AND 23 IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION", PLAT BOOK 2 AT PAGE 68, BOTH OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
LYING AND BEING IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA

PREPARED BY:  
**Schwabke-Shiskin & Associates, Inc.**  
LAND PLANNERS ENGINEERS LAND SURVEYORS  
BUSINESS LICENSE No. LB # 87  
3240 CORPORATE WAY, MIRAMAR, FLORIDA 33025  
TEL: (954)435-7010 FAX: (954)438-3288 DADE: (305)652-7010 FAX: (305)652-8284  
ORDER NO: 205787 DATE: MAY 9, 2016 FIELD BOOK: 2020/T, PG. 70



**OPINION OF TITLE**

PLAT 2016-0005

[Bob Graham Building  
Waiver of Plat]

**To: Town of Miami Lakes**

With the understanding that this Opinion of Title is furnished to the Town of Miami Lakes, as an inducement for a subdivision plat covering the real property hereinafter described, it is hereby certified that I have examined the following: (i) Chicago Title Insurance Loan Policy No. 10146202000040 with an effective date of April 7, 1992, and (ii) Attorneys' Title Fund Services, LLC certified attorney title information (collectively, the "Title Evidence"), which Title Evidence covers the period from the beginning to August 23, 2016 at 11:00 PM. ("Effective Date"), inclusive, of the following described real property:

**See Exhibit "A" attached hereto and made a part hereof.**

I am of the opinion that on the last mentioned date, the fee simple title to the above-described real property was vested in:

The Graham Companies, a Florida corporation

**Note: For Limited Partnership, Limited Liability Company or Joint Venture indicate parties comprising the Limited Partnership, Limited Liability Company or Joint Venture and identify who is authorized to execute.**

Subject to the following encumbrances, liens and other exceptions (If "none" please indicate):

**1. RECORDED MORTGAGES:**

NONE.

**2. RECORDED CONSTRUCTION LIENS, CONTRACT LIENS AND JUDGMENTS:**

NONE

**3. GENERAL EXCEPTIONS:**

- i) Taxes for the year 2016 and subsequent years and taxes or special assessments which are not shown as existing liens by the public records.
- ii) Rights or claims of parties in possession not shown by the public records.
- iii) Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey and inspection of the premises.
- iv) Easements or claims of easements not shown by the public records.
- v) Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.

- vi) Any outstanding assessments in favor of Miami-Dade County, Florida, any special taxing district and any municipality.
- vii) Zoning and other restrictions imposed by governmental authority.
- viii) Any lien provided for by Florida Statutes in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer, waste or gas system supplying the land or service facilities.

4. **SPECIAL EXCEPTIONS:**

- 1) Restrictions, dedications and easements set forth in Plat of Miami Lakes Office Park Section One, recorded in Plat Book 125, at Page 56, of the Public Records of Miami-Dade County, Florida.
- 2) Reservations contained in Deed from The Trustees of the Internal Improvement Fund of the State of Florida recorded August 6, 1925, in Deed Book 560, Page 285 of the Public Records of Miami-Dade County, Florida.
- 3) Restrictions, reservations and rights-of-way, if any, in the Plat of CHAMBER'S LAND COMPANY SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 2, at Page 68, of the Public Records of Miami-Dade County, Florida
- 4) Easement to Miami-Dade County recorded November 15, 1989, in Official Records Book 14326, at Page 1751, of the Public Records of Miami-Dade County, Florida.
- 5) Easement Agreement recorded September 2, 1998, in Official Records Book 13809, at Page 3459, as amended by Amendment to Easement recorded June 23, 1989, in Official Records Book 14154, at Page 1367, of the Public Records of Miami-Dade County, Florida, further amended by Second Amendment to Easement recorded September 25, 1992 in Official Records Book 15661, Page 861 of the Public Records of Miami-Dade County, and further amended by Third Amendment to Easement recorded October 26, 2009 in Official Records Book 27060, Page 2827 of the Public Records of Miami-Dade County.

*I HEREBY CERTIFY* that I have reviewed all the aforementioned encumbrances and exceptions and that none of them affect the validity of the Plat.

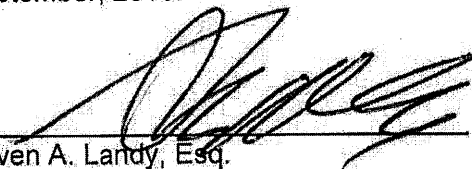
Therefore, it is my opinion that the following party(ies) must execute plat.

| <b><u>Name</u></b>                          | <b><u>Interest</u></b> | <b><u>Special Exception Number</u></b> |
|---|------------------------|--|
| The Graham Companies, a Florida corporation | Fee Simple Owner       | N/A                                    |

I HEREBY CERTIFY that the legal description contained in this Opinion of Title coincides with, and is the same as, the legal description in the proffered plat.

I, the undersigned, further certify that I am an attorney-at-law duly admitted to practice in the State of Florida and a member in good standing of the Florida Bar.

Respectfully submitted this 16<sup>th</sup> day of September, 2016.


  
Steven A. Landy, Esq.

Florida Bar No. 346020  
Greenberg Traurig, P.A.  
333 Avenue of the Americas  
Miami, FL 33131

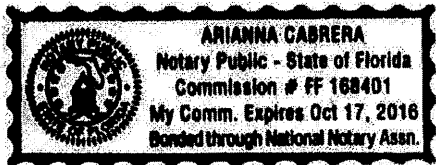
STATE OF FLORIDA

COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 16<sup>th</sup> day of September, 2016, by Steven A. Landy, who is personally known to me or has produced \_\_\_\_\_, as identification.

  
Notary Public  
Arianna Cabrera  
Print Name

My Commission Expires: 10/17/2016



**Exhibit "A"**  
**Legal Description**

**GOVERNORS SQUARE SENIOR COMMUNITY – OFFICE BUILDING**

A portion of Tract "A," according to the plat of "MIAMI LAKES OFFICE PARK SECTION ONE," as recorded in Plat Book 125 at Page 56; together with a portion of Tracts 22 and 23 in the Northeast 1/4 of Section 22, Township 52 South, Range 40 East, "CHAMBERS LAND COMPANY SUBDIVISION," as recorded in Plat Book 2 at Page 68, both of the Public Records of Miami-Dade County, Florida, all being more particularly described as follows:

Begin at the most Easterly corner of said Tract "A," as shown on the said plat of "MIAMI LAKES OFFICE PARK SECTION ONE;" thence South 00 degrees 07 minutes 01 seconds West, along the West right-of-way line of Industrial Way (Commerce Way), as shown on the plat of "MIAMI LAKES INDUSTRIAL PARK SECTION NINE," as recorded in Plat Book 117 at Page 76, of the Public Records of Miami-Dade County, Florida, for 194.26 feet to a Point of Curvature; thence Southwesterly and Westerly, along the arc of a circular curve to the right, concave to the Northwest, having a radius of 15.00 feet and a central angle of 89 degrees 52 minutes 59 seconds for an arc distance of 23.53 feet to a Point of Tangency; thence West for 307.37 feet; thence North 63 degrees 22 minutes 29 seconds West for 355.60 feet; thence North 26 degrees 37 minutes 31 seconds East, at right angles to the last and next described courses, for 18.00 feet; thence North 63 degrees 22 minutes 29 seconds West for 158.04 feet; thence North 00 degrees 07 minutes 01 seconds East for 118.53 feet; thence North 89 degrees 52 minutes 59 seconds West for a distance of 90.90 feet to a Point of Curvature; thence Westerly and Northwesterly, along the arc of a circular curve to the right, concave to the Northeast, having a radius of 243.00 feet and a central angle of 62 degrees 48 minutes 30 seconds, for an arc distance of 266.38 feet to a point (from said point a line bears North 62 degrees 55 minutes 31 seconds East to the radius point of the last described course); thence run North 41 degrees 07 minutes 01 seconds East for a distance of 31.58 feet to a point on the next described circular curve (from said point a line bears North 66 degrees 04 minutes 05 seconds East to the radius point of the next described course); thence run Southeasterly and Easterly, along the arc of a circular curve to the left, concave to the Northeast, having a radius of 214.00 and a central angle of 65 degrees 57 minutes 04 seconds, for an arc distance of 246.33 feet to a Point of Tangency; thence South 89 degrees 52 minutes 59 seconds East for 319.48 feet to a Point of Curvature; thence run Easterly and Northeasterly, along the arc of a circular curve to the left, concave to the Northwest, having a radius of 250.00 feet and a central angle of 49 degrees 03 minutes 47 seconds for an arc distance of 214.08 feet to a Point of Tangency; thence North 41 degrees 03 minutes 14 seconds East, radial to the next described circular curve, for 233.66 feet to a point on the following described circular curve; said last described four courses being along the centerline of a 58.00 foot wide Ingress-Egress Easement, as recorded in Official Records Book 27060 at Page 2827 and Official Records Book 13809 at Page 3459, both of the Public Records of Miami-Dade County, Florida; thence Southeasterly, Southerly and Southwesterly, along the arc of said circular curve to the right, concave to the Southwest, having a radius of 590.00 feet and a central angle of 49 degrees 03 minutes 47 seconds for an arc distance of 505.22 feet to the Point of Beginning; said last described course being along the West Right-of-Way Line of the aforesaid Industrial Way (Commerce Way), all lying and being in the Northeast 1/4 of Section 22, Township 52 South, Range 40 East, Town of Miami Lakes, Miami-Dade County, Florida.

# BOB GRAHAM OFFICE BUILDING

TOWN OF MIAMI LAKES, FLORIDA SEC. 22, TWP. 52, RGE. 40

## CIVIL PLANS

NOVEMBER, 2016

Sheet List Table

| SHEET NUMBER | SHEET TITLE                             |
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| SP-1         | SITE PLAN                               |
| C-2          | WATER AND SEWER PLAN                    |
| C-3          | DOMESTIC, IRRIGATION AND FIRE LINE PLAN |
| C-4          | SANITARY LATERAL PLAN                   |
| C-5          | WATER AND SEWER DETAILS                 |
| C-6          | PAVING, GRADING AND DRAINAGE PLAN       |
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| C-12         | CROSS-SECTIONS                          |
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| ESC-1        | EROSION AND SEDIMENT CONTROL PLAN       |
| ESC-2        | EROSION AND SEDIMENT CONTROL DETAILS    |
| ESC-3        | EROSION AND SEDIMENT CONTROL DETAILS    |

\* NOT PART OF M-DWASD APPROVAL

LEGAL DESCRIPTION: (PARENT TRACT & CUT-OUT PARCEL)

A PORTION OF TRACT "A," ACCORDING TO THE PLAT OF "MIAMI LAKES OFFICE PARK SECTION ONE," AS RECORDED IN PLAT BOOK 125 AT PAGE 56; TOGETHER WITH A PORTION OF TRACTS 22 AND 23 IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION," AS RECORDED IN PLAT BOOK 2 AT PAGE 68, BOTH OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE MOST EASTERLY CORNER OF SAID TRACT "A," AS SHOWN ON THE SAID PLAT OF "MIAMI LAKES OFFICE PARK SECTION ONE;" THENCE SOUTH 00 DEGREES 07 MINUTES 01 SECONDS WEST, ALONG THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL WAY (COMMERCE WAY), AS SHOWN ON THE PLAT OF "MIAMI LAKES INDUSTRIAL PARK SECTION NINE," AS RECORDED IN PLAT BOOK 117 AT PAGE 76, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR 194.26 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE RUN SOUTHERLY AND WESTERLY ALONG THE ARC OF A CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET AND A CENTRAL ANGLE OF 89 DEGREES 52 MINUTES 59 SECONDS, FOR AN ARC DISTANCE OF 234.33 FEET TO A POINT OF TANGENCY; THENCE WEST FOR 307.37 FEET; THENCE NORTH 63 DEGREES 22 MINUTES 29 SECONDS WEST FOR 355.60 FEET; THENCE NORTH 26 DEGREES 37 MINUTES 31 SECONDS EAST, AT RIGHT ANGLES TO THE LAST AND NEXT DESCRIBED COURSES, FOR 18.00 FEET; THENCE NORTH 63 DEGREES 22 MINUTES 29 SECONDS WEST FOR 158.04 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 01 SECONDS EAST FOR 147.53 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 59 SECONDS EAST FOR 228.58 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE RUN EASTERLY AND NORTHEASTERLY ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 250.00 FEET AND A CENTRAL ANGLE OF 49 DEGREES 03 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 214.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 41 DEGREES 03 MINUTES 14 SECONDS EAST FOR 233.66 FEET TO A POINT ON THE NEXT DESCRIBED CIRCULAR CURVE, SAID POINT BEARS NORTH 41 DEGREES 03 MINUTES 14 SECONDS EAST FROM THE RADIUS POINT OF THE FOLLOWING DESCRIBED CIRCULAR CURVE CONCAVE TO THE SOUTHWEST; SAID LAST THREE DESCRIBED COURSES BEING ALONG THE CENTERLINE OF A 58.00 FOOT WIDE INGRESS-EGRESS EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 27060 AT PAGE 2827 AND OFFICIAL RECORDS BOOK 13809 AT PAGE 3459, BOTH OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE SOUTHEASTERLY, SOUTHERLY AND SOUTHWESTERLY ALONG THE ARC OF A CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 580.00 FEET AND A CENTRAL ANGLE OF 49 DEGREES 03 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 505.22 FEET TO THE POINT OF BEGINNING; SAID LAST DESCRIBED COURSE BEING ALONG THE WEST RIGHT-OF-WAY LINE OF THE AFORESAID INDUSTRIAL WAY (COMMERCE WAY), ALL LYING AND BEING IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA.

NOT PART OF M-DWASD NOTES NOR APPROVAL

FLOOD CRITERIA NOTES

(NOT A PART OF M-DWASD NOTES NOR APPROVAL)

1. MIAMI-DADE COUNTY FLOOD CRITERIA = 6.60' N.G.V.D.

2. FEMA FLOOD ELEVATION = FLOOD ZONE AE 6.0 PER COMMUNITY PANEL NO. 1206860112L MAP DATED ON 9/11/2009.

3. MIAMI-DADE COUNTY OCT. W.T. = 3.40' N.G.V.D.

Always call 811 two full business days before you dig



## LOCATION SKETCH

1" = 300'

prepared by

SCHWEBKE-SHISKIN & ASSOCIATES, INC.

3240 CORPORATE WAY, MIRAMAR, FL. 33025

LAND PLANNERS - ENGINEERS - LAND SURVEYORS (LB & CA#87)

TEL: (305)652-7010

FAX: (305)652-8284



THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 11/07/2016 BY HERNANDO J. NAVA, P.E. USING A DIGITAL SIGNATURE

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- ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE WATER AND SEWER DEPARTMENT AND SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AVAILABLE AND IN USE WITH THE DEPARTMENT, USING JOINTING FOR ALL MATERIALS.
- CONCRETE WATER OR SEWER FORCE MAIN SHALL BE 4'-0" DIA.
- ALL MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" RISER PIPES AND NO. 3 OR 3.5 VALVE BOXES. FIRE HYDRANTS AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 6" RISER PIPES AND NO. 2 VALVE BOXES.
- ALL FORCE MAIN SERVICE CONNECTIONS INTO PRESSURE TRANSMISSION MAINS SHALL HAVE A SHUT OFF VALVE AND CHECK VALVE AT THE POINT OF ENTRY.
- ALL GRADY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- ALL WATER METERS WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER DEPARTMENT, PROVIDING THE APPROPRIATE CHARGES HAVE BEEN PREPAID.
- FIRE HYDRANT REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY MIAMI-DADE COUNTY FIRE DEPARTMENT FOR THE APPROPRIATE FIRE ACTIVITY WITH INSTALLATION IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- CONTRACTOR MUST CALL MIMASD INSPECTION DIVISION TO ARRANGE FOR A PRECONSTRUCTION MEETING 2 FULL BUSINESS DAYS PRIOR TO PROPOSED START OF CONSTRUCTION. CONTACT ONE CALL CENTER 48 HRS PRIOR TO EXCAVATION.
- CONTRACT INSPECTOR WILL INSPECT ANY FACILITIES APPROVED BY THE DEPARTMENT. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE PROJECT BY THE DEPARTMENT AND ONLY THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED AND APPROVED BY THE DEPARTMENT:
  - 1. EASEMENTS, IF REQUIRED.
  - 2. CONTRACTOR'S WAIVER AND RELEASE OF LIEN.
  - 3. IMMEDIATE BILL OF SALE.
  - 4. CONTRACTOR'S LETTER OF WARRANTY (S.E. LETTER AGREEMENT).
  - 5. DEVELOPER'S CONTRACT BOND (S.E. CONTRACT AGREEMENT).
  - 6. "RECORD DRAWING" PRINTS (S.E. JOINTING SYSTEMS, LOCATION, DETAIL, ETC.) OF ALL WATER AND SEWER FACILITIES AS LOCATED BY A LICENSED SURVEYOR & WATER, ALONG WITH PRINTS OF "RECORD DRAWING" WHICH HAVE BEEN ISSUED AND SEALED BY A LICENSED SURVEYOR & WATER, (S.E. OF PRINTS) 3-0" WATER & 4-0" GRADY CENTER AND 5-0" FORCE MAIN OR PLANT STATION PROJECTS. (Submit all final CAD files required).
  - 7. ALL LETTERS OF REQUEST REQUIRED FOR ALL WATER PROJECTS.
  - 8. BILL OF SALE (S.E. 10% 17%) FOR WATER AND SEWER, SEPARATELY.
- ALL NEW CONSTRUCTION SHALL BE INSTALLED AT THE SAME OR BETTER STANDARD AS EXISTING. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY EASEMENTS, PERMITS AND RECORD MATERIALS WITH PERMITS PRIOR TO NO.
- NO APPROVED PAVING AND DRAINAGE PLAN MUST BE SUBMITTED TO MIMASD FOR ALL NEW SUBDIVISIONS PRIOR TO APPROVAL OF WATER AND SEWER PERMIT PLANS, UPON REQUEST.
- UNLESS OTHERWISE SPECIFIED, ALL TAPS 20 INCHES AND SMALLER FOR CONNECTIONS TO EXISTING MAINS WILL BE DONE BY BENCHMARK CORRECTION. OTHER AS CONSIDERED WILL BE THE CONTRACTOR'S BE RESPONSIBLE TO THE EXISTING MAINS IN THE SIZE RANGE SPECIFIED ABOVE. THE TAPPING, SLEEVING AND BAPPING SHALL BE APPROVED AND INSTALLED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE INSPECTOR.

| ITEM                         | CROSS SECTION | SHEET  |
|------------------------------|---------------|--------|
| STANDARD REQUIREMENTS        | GS            | 1 OF 2 |
| WATER AND SEWER CONSTRUCTION | 0.5           | 2 OF 2 |

- AT THE COMPLETION OF ANY WATER AND SEWER JOB EITHER DONATION OR CONTRACT, THE CONTRACTOR SHALL SUBMIT:
  - a. RECORD DRAWING PRINTS WHICH HAVE BEEN SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER (S.E. OF PRINTS AS REQUIRED BY THE DEPARTMENT).
- "RECORD DRAWING" FORMATS:
  - a. 24" x 36" PRINTS
  - b. PDF FILE
  - c. CAD FILE (DWG OR DWT) ROTATED AND TRANSLATED TO STATE PLANE COORDINATES AND AS FLORIDA EAST ZONE
  - d. THE WORDS "RECORD DRAWING" IN LARGE LETTERS
  - e. TITLE BLOCK WITH DEPARTMENT LOGO OR EX NUMBER AND PERMIT INFORMATION
  - f. PREFERRED SCALE TO BE 1" = 40' HORIZONTALLY AND 1" = 4' VERTICALLY
  - g. STREET NAME/ADDRESS
  - h. SEPARATE RECORD DRAWINGS FOR WATER AND SEWER
  - i. SEPARATE WATER AND SEWER PROFILE
  - j. DRAWING SHOWN WITH GRID OR PERMANENT REFERENCE POINT (S.E. 6, 6, ETC.) OR AS SHOWN ON DESIGN PERMIT PLANS, AND TO RUN CONTINUOUSLY TO END OF MAIN
  - k. EASEMENTS, IF ANY, TO BE PERMANENT REFERENCE POINT
  - l. IDENTIFY ALL CONTROL LINES (I.E. BLUE LINE, PROPERTY LINE, R/W, ETC.)
  - m. ALL "PROPOSED" INFORMATION TO BE REMOVED FROM PRINTS, LEAVING ONLY RECORD DRAWING INFORMATION REFLECTED IN DRAWINGS
- WATER "RECORD DRAWINGS" MUST INCLUDE:
  - a. PLAN SHOWING PIPE SIZE, MATERIAL AND OFFSET OF MAIN, DEFLECTIONS OF ANY, SLOPE OF SERVICES, HYDRANTS, VALVES, FITTINGS, IF ANY, ALL IN STATE PLANE COORDINATES. UTILITY CROSSINGS SHALL BE CLEARLY IDENTIFIED AND LOCATED
  - b. PROFILE SHOWING TOP OF GROUND AND TOP OF PIPE ELEVATIONS AT EVERY 100' STATION AND AT ANY CHANGE IN GRADE (WITH CORRESPONDING STATIONS), PIPE SIZE AND PIPE MATERIALS REFERENCED TO PLAN
- SEWER "RECORD DRAWINGS" MUST INCLUDE:
  - a. PLAN SHOWING MANHOLE NUMBER, PIPE SIZE AND PIPE MATERIAL, OF PIPE, DEFLECTION, SLOPE OF GRAVITY, SEWER, LOCATION OF LATERALS WITH REFERENCE TO MANHOLE AND CLEANOUTS
  - b. THE NORTHERLY AND EASTERLY COORDINATES ON ALL FIELD OBTAINED MEASUREMENTS AND PROVIDED ON ALL RECORD DRAWING SUBMITTALS
  - c. PROFILE SHOWING MANHOLE NUMBER (AS PER PLAN, R/W AND PROPERTY ELEVATIONS) IF MORE THAN ONE (WATER, LABEL NORTH, SOUTH, ETC.), AND STATION STARTING AT 0+00 AT DOWNSTREAM MANHOLE
- FORCE MAIN "RECORD DRAWING" SAME AS WATER MAIN
- EACH RECORD DRAWING SHALL SHOW THE FLORIDA STATE PLANE COORDINATES (CURRENT REALIGNMENT) OF ALL THE MANHOLES AND VALVES AND OF AT LEAST TWO HORIZONTAL CONTROL POINTS PROPERLY IDENTIFIED AND LOCATED WITHIN THE PROJECT.

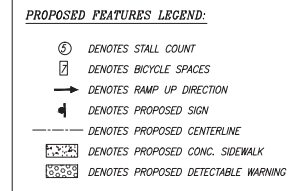
\* OTHER SCALE MAY BE PERMITTED, BUT MUST BE APPROVED BY THE DEPARTMENT PRIOR TO PREPARATION OF DRAWINGS.

| ITEM                          | CROSS SECTION | SHEET  |
|-------------------------------|---------------|--------|
| STANDARD REQUIREMENTS         | GS            | 1 OF 2 |
| "RECORD DRAWING" REQUIREMENTS | 0.5           | 2 OF 2 |

FILE No. ML-1154

C-1

SHEET 1 OF C-21



|  |                  |
|--|------------------|
| ZONED                                    | IU-C             |
| NET LAND AREA IN SQUARE FEET             | 317,727 SQ. FT.  |
| NET LAND AREA IN ACRES                   | 7.29 ACRES       |
| EXIST INGRESS-EGRESS EASEMENT            | 0.69 ACRES       |
| AREA FOR SITE PLAN CALCULATIONS          | 287,671 SQ. FT.  |
|  | 6.60 ACRES       |
| SQUARE FEET OF BLDGS. AT GROUND LEVEL    | 20,429 SQ. FT.   |
| PERCENTAGE OF LOT COVERED BY BUILDING    | 7.10 %           |
| TOTAL SQUARE FEET OF BUILDINGS :         |                  |
| 1ST. FLOOR                               | 20,429 SQ. FT.   |
| 2ND. FLOOR                               | 20,618 SQ. FT.   |
| 3RD. FLOOR                               | 20,618 SQ. FT.   |
| 4TH. FLOOR                               | 20,606 SQ. FT.   |
| TOTAL GROSS AREA                         | 82,271 SQ. FT.   |
| SQUARE FEET OF PAVED PARKING/ SWK. AREA  | 204,941 SQ. FT.  |
| PERCENTAGE OF LOT COVERED BY PAVING      | 71.24 %          |
| SQUARE FEET OF LANDSCAPED AREA           | 62,301 SQ.FT.    |
| PERCENTAGE OF LOT COVERED BY LANDSCAPING | SEE TABLE 1      |
| HEIGHT OF BUILDING                       | SEE TABLE 1      |
| NUMBER OF STORIES                        | 4 STORIES        |
| NUMBER OF PARKING SPACES REQUIRED        |                  |
| 82,271 SQ. FT./300                       | 274 CARS         |
| NUMBER OF PARKING SPACES PROVIDED        | 516 SPACES       |
| HANDICAP SPACES                          | <u>11</u> SPACES |
| TOTAL                                    | 527 SPACES       |

| TABLE 1                         | REQUIRED | PROVIDED |
|---------------------------------|----------|----------|
| BUILDING SETBACK FRONT          | 50'      | 88.15'   |
| BUILDING SETBACK SIDE STREET    | 25'      | 107.04'  |
| BUILDING SETBACK INTERIOR SIDE  | 10'      | 270.50'  |
| BUILDING SETBACK REAR           | 0'       | 471.04'  |
| BUILDING HEIGHT                 | 63'-0"   | 58'-5"   |
| % OF LOT COVERED BY LANDSCAPING | 20%      | 21.66%   |

| Date | Remarks | By |
|------|---------|----|
|      |         |    |
|      |         |    |
|      |         |    |
|      |         |    |



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BY HERNANDO J. NAVAS, P.E. USING A  
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**BOB GRAHAM OFFICE BUILDING**  
OVERALL WATER AND SEWER  
PLAN  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BJ Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 FB 00000 Pg. 00

Drawing Status: PERMIT

By: **Hernando J. Navas**  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

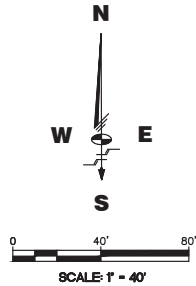
Scale: As Noted

File No. **ML-1154**

Dwg. No:

**C-2**

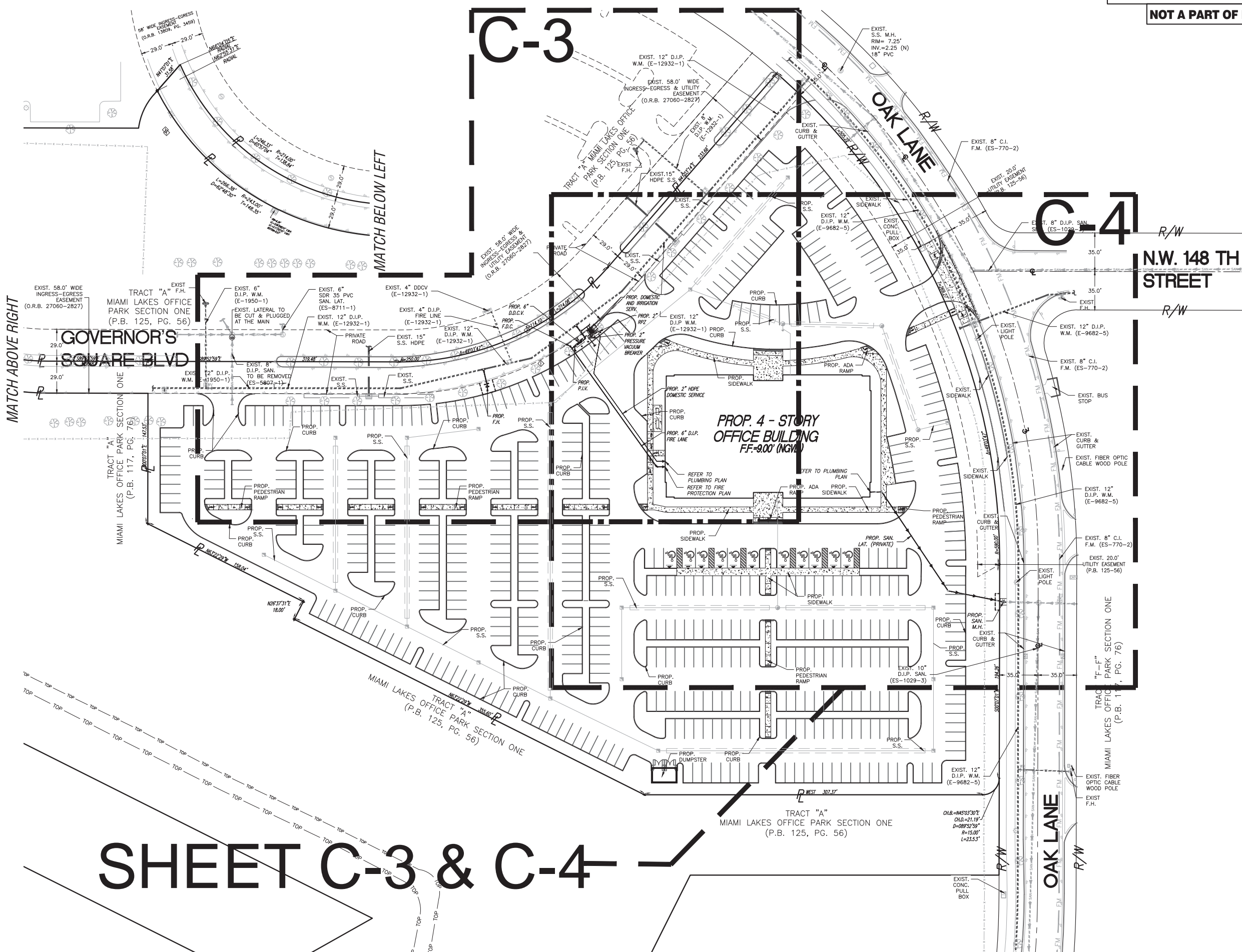
OF: C-21



NOT PART OF M-DWASD NOTES NOR APPROVAL

LEGEND

- DENOTES EXISTING TREE
- DENOTES PROPERTY LINE
- DENOTES RIGHT OF WAY LINE
- DENOTES CENTER LINE
- DENOTES EXISTING FENCE
- DENOTES EXISTING POWER POLE
- DENOTES EXISTING ASPHALT
- DENOTES EXISTING WATER VALVE
- DENOTES EXISTING DRAINAGE MANHOLE
- DENOTES EXISTING SANITARY MAN HOLE
- DENOTES EXISTING INLET
- DENOTES EXISTING SIGN
- DENOTES PROPOSED STORM INLET/M.H.
- DENOTES PROPOSED FRENCH DRAIN
- DENOTES PROPOSED BOLLARD
- DENOTES PROPOSED VACUUM BREAKER IRRIGATION
- DENOTES PROPOSED BACK FLOW PREVENTER
- DENOTES PROPOSED DOUBLE DETECTOR CHECK VALVE
- DENOTES PROPOSED FIRE HYDRANT
- DENOTES PROPOSED WATER VALVE
- DENOTES PROPOSED WATER TEE
- DENOTES PROPOSED 90° BEND
- DENOTES PROPOSED 45° BEND
- DENOTES PROPOSED 11.25° BEND



SHEET C-3 & C-4

| REVISIONS |         |    |
|-----------|---------|----|
| Date      | Remarks | By |
|           |         |    |
|           |         |    |
|           |         |    |
|           |         |    |



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**BOB GRAHAM OFFICE BUILDING**  
DOMESTIC, IRRIGATION AND FIRE  
PLAN  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BL Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 FB Sketches & 00000 Pg. 00

Drawing Status: PERMIT

By: **Hernando J. Navas**  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

Scale: As Noted

File No. **ML-1154**

Dwg. No:

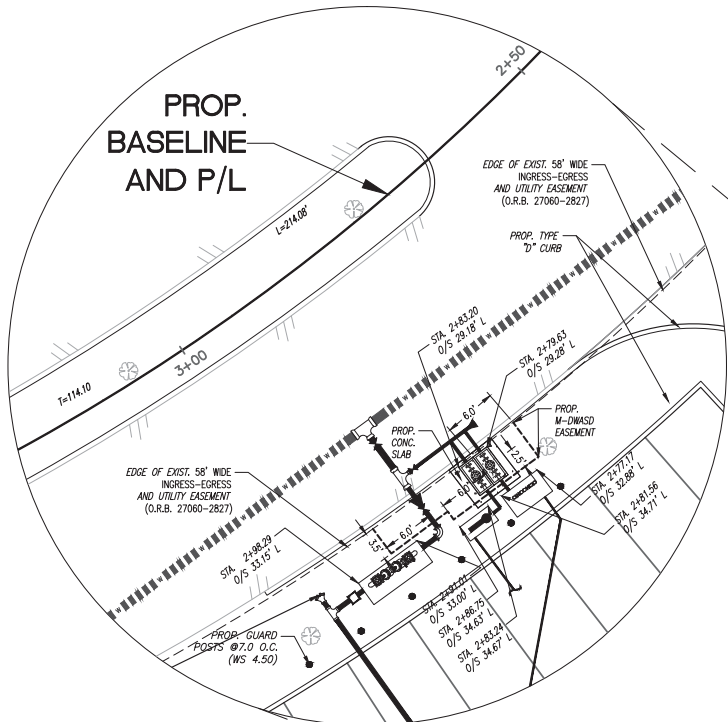
**C-3**

OF: C-21

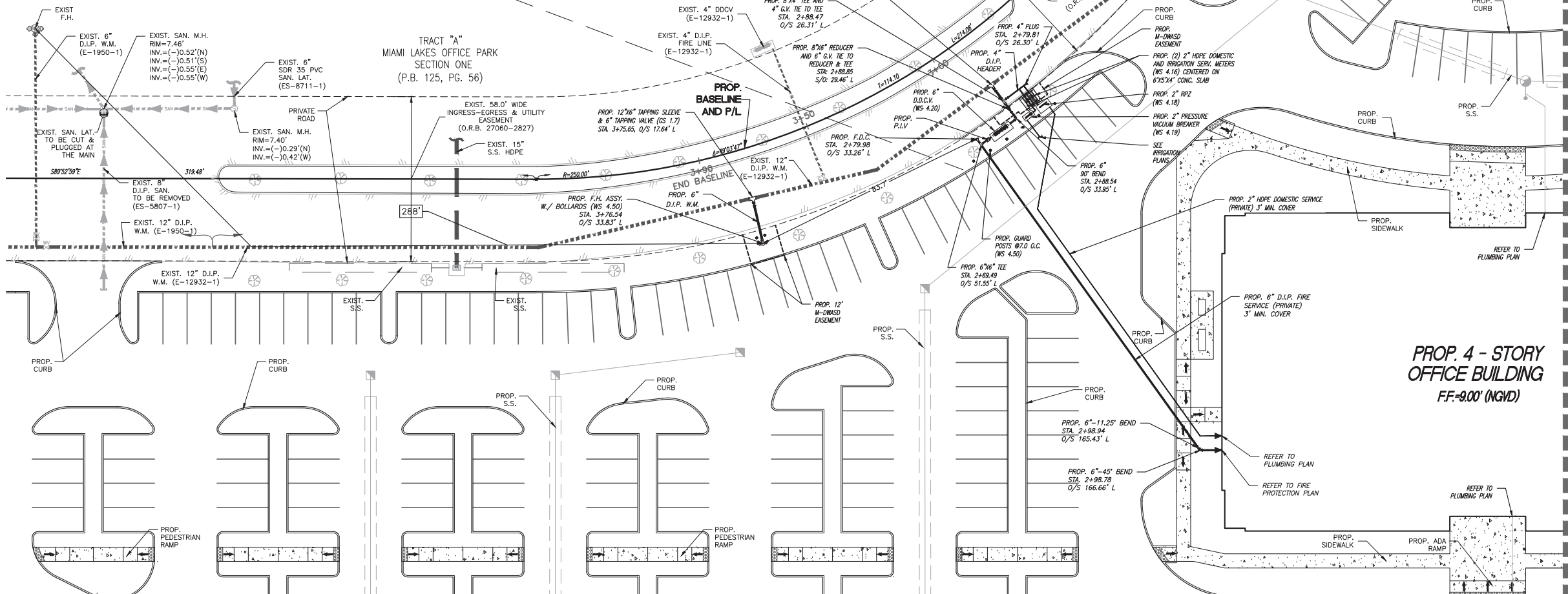
**DISCLOSURE RELATED TO CRITICAL HABITAT FOR  
ENDANGERED SPECIES**

PLEASE BE ADVISED THAT THE FEDERAL GOVERNMENT HAS DESIGNATED ALL OR A PART OF THE SUBJECT PROPERTY AS CRITICAL HABITAT FOR ONE OR MORE ENDANGERED SPECIES. YOU ARE NOT AUTHORIZED TO COMMENCE ANY WORK OR ACTIVITIES PURSUANT TO THIS PERMIT UNTIL YOU OBTAIN ANY AND ALL APPROVALS OR PERMITS, IF NECESSARY, FROM THE FEDERAL GOVERNMENT PURSUANT TO THE ENDANGERED SPECIES ACT AND FROM THE STATE OF FLORIDA PURSUANT TO FLORIDA LAW ON ENDANGERED SPECIES. PLEASE BE ADVISED THAT, EVEN AFTER WORK COMMENCES, IF MIAMI-DADE COUNTY IS ADVISED BY THE FEDERAL GOVERNMENT, THE STATE OF FLORIDA, OR A COURT THAT AN ACTIVITY ON THE SUBJECT PROPERTY IS IN VIOLATION OF THE ENDANGERED SPECIES ACT, IN VIOLATION OF FLORIDA LAW ON ENDANGERED SPECIES, OR IN VIOLATION OF A PERMIT OR APPROVAL GRANTED BY THE FEDERAL GOVERNMENT PURSUANT TO THE ENDANGERED SPECIES ACT, SUCH VIOLATION MAY RESULT IN AN IMMEDIATE STOP WORK ORDER. YOU ARE STRONGLY ADVISED TO CONSULT WITH THE UNITED STATES FISH AND WILDLIFE SERVICE AND ANY OTHER NECESSARY FEDERAL OR STATE AGENCIES BEFORE CONDUCTING ANY WORK OR ACTIVITIES ON THE PROPERTY. THE VERO BEACH OFFICE OF THE UNITED STATES FISH AND WILDLIFE SERVICE MAY BE REACHED AT (772) 562-3909. PLEASE BE AWARE THAT THE FEDERAL GOVERNMENT MAY REQUIRE CERTAIN ACTIONS OR PROTECTIONS ON THE PROPERTY, AND THIS MAY RESULT IN THE NEED TO MODIFY THE PLANS FOR THE PROPERTY. THEREFORE, IT IS RECOMMENDED THAT YOU CONSULT WITH THE UNITED STATES FISH AND WILDLIFE SERVICE AT AN EARLY STAGE IN THE PROCESS. IN THE EVENT THAT THE UNITED STATES FISH AND WILDLIFE SERVICE ADVISES THAT YOUR PLANS FOR THE SUBJECT PROPERTY MAY RESULT IN A TAKE OF ENDANGERED OR THREATENED SPECIES, YOU ARE STRONGLY RECOMMENDED TO INFORM MIAMI-DADE COUNTY IN WRITING AT THE EARLIEST STAGE POSSIBLE.

**PROP.  
BASELINE  
AND P/L**



**GEOMETRIC DETAIL**  
SCALE: 1" = 10'



**LEGEND**

- DENOTES EXISTING TREE
- DENOTES PROPERTY LINE
- DENOTES RIGHT OF WAY LINE
- DENOTES CENTER LINE
- DENOTES EXISTING FENCE
- DENOTES EXISTING POWER POLE
- DENOTES EXISTING ASPHALT
- DENOTES EXISTING WATER VALVE
- DENOTES EXISTING DRAINAGE MANHOLE
- DENOTES EXISTING SANITARY MAN HOLE
- DENOTES EXISTING INLET
- DENOTES EXISTING SIGN
- DENOTES PROPOSED STORM INLET/M.H.
- DENOTES PROPOSED FRENCH DRAIN
- DENOTES PROPOSED BOLLARD
- DENOTES PROPOSED VACUUM BREAKER IRRIGATION
- DENOTES PROPOSED BACK FLOW PREVENTER
- DENOTES PROPOSED DOUBLE DETECTOR CHECK VALVE
- DENOTES PROPOSED FIRE HYDRANT
- DENOTES PROPOSED WATER VALVE
- DENOTES PROPOSED WATER TEE
- DENOTES PROPOSED 90° BEND
- DENOTES PROPOSED 45° BEND
- DENOTES PROPOSED 11.25° BEND

**NOTE**

- ALL EXISTING MAINS BEING IMPACTED BY THIS PROJECT AND ALL PROP WATER AND SEWER FORCE MAINS AND FITTINGS TO BE RESTRAINED PER GS 2.0
- ALL WATER AND SEWER CROSSINGS PER GS 1.5

**PROP. 4 - STORY  
OFFICE BUILDING**  
FF=9.00' (NGVD)

SEE SHEET C-4

**Schwebke  
Shiskin &  
Associates, Inc.**

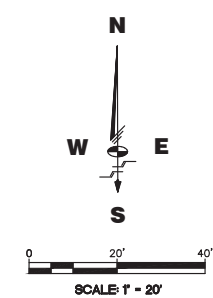


**LAND SURVEYORS  
CIVIL ENGINEERS  
LAND PLANNERS**

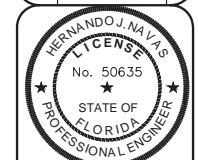
**LB#87 CA#87**

**3240 CORPORATE WAY  
MIRAMAR, FL 33025**

**TEL: (305)652-7010  
FAX: (305)652-8284**



| REVISIONS |         |    |
|-----------|---------|----|
| Date      | Remarks | By |
|           |         |    |
|           |         |    |
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|           |         |    |



THIS SHEET HAS BEEN ELECTRONICALLY  
SIGNED & SEALED ON 09.15.2016  
BY HERNANDO J. NAVAS, P.E. USING A  
DIGITAL SIGNATURE

PRINTED COPIES OF THESE SHEETS ARE NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE

**BOB GRAHAM OFFICE BUILDING**

SANITARY LATERAL  
PLAN

TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BI Date: 07/05/16

Checked By: HJN Date: 11/02/16

|                     |                           |
|---------------------|---------------------------|
| Order No. 205748 FB | Sketches &<br>00000 Pg 00 |
|---------------------|---------------------------|

Drawing Status: PERMIT

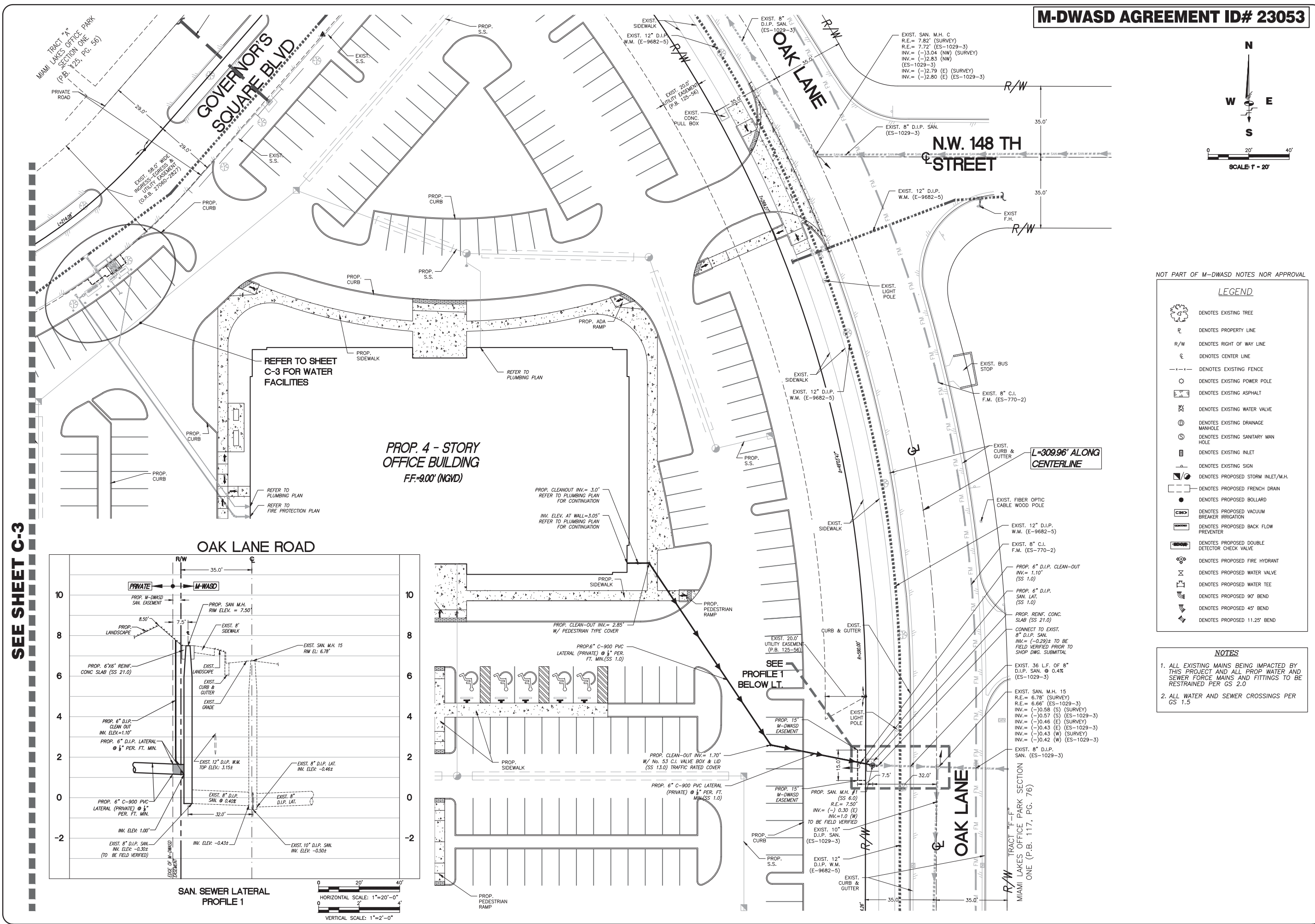
By: \_\_\_\_\_  
Hernando J. Navas  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

Scale: As Noted

File No. **ML-1154**

Dwg. No:

**C-4**  
OF: C-21



1. A HORIZONTAL DISTANCE OF AT LEAST 6 FEET AND PREFERABLY 10 FEET (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE SEWER PIPES AND WATER PIPES. THE MINIMUM HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE BOTTOM OF THE SEWER PIPE IS AT LEAST 6 INCHES BELOW THE BOTTOM OF THE WATER PIPE. WHEN THE ABOVE SPECIFIED HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF:
  - a. THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
  - b. THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
  - c. THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
2. A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY AND PRESSURE SEWER PIPES. THIS DISTANCE CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS. WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF:
  - a. THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
  - b. THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
3. AIR RELEASE VALVES SHALL BE PROVIDED AT HIGH POINTS OF NEW FORCE MAIN SANITARY SEWERS.
4. GRAVITY SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE C-900 PVC OR DUCTILE IRON PIPE. THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS IS 15 GALLONS PER INCH PIPE DIAMETER PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
  - a. RESIDENTIAL LAND USES. FIFTY (50) GALLONS PER INCH PIPE DIAMETER PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
  - b. NON-RESIDENTIAL LAND USES. TWENTY (20) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
  - c. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.

- THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS CONSTRUCTED OUTSIDE A PUBLIC WELLFIELD PROTECTION AREA SHALL BE ONE HUNDRED (100) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
6. FORCE MAIN SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE DUCTILE IRON, C-900 PVC, HDPE OR REINFORCED CONCRETE PRESSURE SEWER PIPES.
7. THE MAXIMUM ALLOWABLE EXFILTRATION/LEAKAGE RATE OF FORCE MAIN SANITARY SEWERS SHALL BE:
- a. DUCTILE IRON, C-900 PVC, HDPE AND PVC PIPE. THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AMERICAN WATER WORKS ASSOCIATION STANDARD (AWWAS) C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
  - b. REINFORCED CONCRETE PRESSURE PIPE. HALF (1/2) THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AWWA C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
  - c. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
8. THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
9. IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC. IN THE SAME TRENCH ABOVE AN EXISTING WATER OR SEWER PIPE EXCEPT WHERE THEY CROSS.
10. IF ANY AREA OF THE WORK SITE IS FOUND TO CONTAIN BURIED SOLID WASTE AND/OR GROUND OR GROUND WATER CONTAMINATION, THE FOLLOWING SHALL APPLY:
- a. ALL WORK IN THE AREA SHALL FOLLOW ALL APPLICABLE SAFETY REQUIREMENTS (E.G., OSHA, ETC.) AND NOTIFICATION MUST BE PROVIDED TO THE APPROPRIATE AGENCIES.
  - b. IMMEDIATELY NOTIFY THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION (EMRD). THE EMRD CAN BE CONTACTED AT (305) 372-6700.
  - c. IF CONTAMINATED SOILS AND/OR BURIED SOLID WASTE MATERIAL IS EXCAVATED DURING CONSTRUCTION, THEN THEY REQUIRE PROPER HANDLING AND DISPOSAL IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS. BE ADVISED THAT THE LANDFILL OWNER/OPERATOR IS THE FINAL AUTHORITY ON DISPOSAL AND MAY HAVE REQUIREMENTS BEYOND THOSE PROVIDED BY HEREIN. IF DISPOSAL WITHIN A MAAMI-DADE COUNTY OWNED LANDFILL (CLASS I LANDFILL) IS APPROPRIATE AND SELECTED, PLEASE CONTACT THE MAAMI-DADE COUNTY DEPARTMENT OF SOLID WASTE MANAGEMENT AT (305) 594-6666 FOR INFORMATION.
  - d. THE REUSE OF CONTAMINATED SOILS THAT ARE NOT RETURNED TO THE ORIGINAL EXCAVATION REQUIRES PRIOR APPROVAL OF A SOIL MANAGEMENT PLAN FROM THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION. THE EMRD CAN BE CONTACTED AT (305) 372-6700.

(NOT PART OF M-DWASD NOTES NOR APPROVAL)

1. ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE WATER AND SEWER DEPARTMENT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AVAILABLE AND ON FILE WITH MIAMI-DADE WATER AND SEWER DEPARTMENT (AUTHORITY).
2. THE LOCATIONS OF THE EXISTING UTILITIES, SHOWN ON THE DRAWINGS, ARE BASED UPON THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER AND ARE APPROXIMATIONS ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE UTILITIES LOCATED IN THE AREA OF THE PROPOSED WORK, PRIOR TO COMMENCING CONSTRUCTION (I.E., UNDERGROUND ELECTRIC, TELEPHONE, WATER, ETC.). THE ENGINEER TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF ALL EXISTING UTILITIES OR FOR THOSE NOT SHOWN ON THE DRAWINGS.
3. COVER OVER WATER MAINS SHALL BE A MINIMUM OF 4'-0" UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
4. ALL WATER MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" RISER PIPES AND NO. 3 VALVE BOXES. FIRE HYDRANTS AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 6" RISER PIPES AND NO.2 VALVE BOXES.
5. ALL WATER METERS WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER AUTHORITY, PROVIDING THE APPROPRIATE CHARGES HAVE BEEN PREPAID. THE METER BOX AND SERVICE PIPING SHALL BE INSTALLED BY THE CONTRACTOR.
6. FIRE HYDRANT REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY DADE COUNTY FIRE DEPARTMENT OR THE APPROPRIATE FIRE AGENCY WITH INSTALLATION IN ACCORDANCE WITH AUTHORITY STANDARDS.
7. THE MIAMI-DADE WATER AND SEWER AUTHORITY AND THE ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. ALL WATER MAINS SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA STANDARD C-651, LATEST REVISION. THE CONTRACTOR SHALL CONTACT THE LOCAL HEALTH DEPARTMENT AND REQUEST BACTERIOLOGICAL SAMPLES BE OBTAINED WITH COPIES BEING FORWARDED TO THE ENGINEER.
9. AUTHORITY PERSONNEL WILL INSPECT ALL FACILITIES APPROVED BY THE AUTHORITY. THE OTHER PERMITTING AGENCIES SHALL INSPECT ALL FACILITIES APPROVED BY THEM AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS.
10. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEM BY MIAMI-DADE WATER AND SEWER AUTHORITY AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED AND APPROVED BY THE AUTHORITY:
  - 1) EASEMENTS, IF REQUIRED BY THE OWNER
  - 2) CONTRACTOR'S WAIVER AND RELEASE OF LIEN
  - 3) ABSOLUTE BILL OF SALE
  - 4) CONTRACTOR'S MAINTENANCE BOND
  - 5) "AS-BUILT" MYLAR, 24"x36"; SHOWING T.O.P. ELEVATIONS AT 100' STATIONS; FINISH GRADE ELEVATIONS AT 200' STATIONS; OFFSET FROM R/W OR PL; STATION AND LENGTH OF SERVICES; THE POINT OF CONNECTION TO EXIST. MAINS TIED TO CENTER LINE OF EXIST. ROADS; ETC. FOR ALL WATER FACILITIES; RIM AND INVERT ELEVATIONS FOR ALL MANHOLES; DISTANCE AND SLOPE BETWEEN MANHOLES; SERVICE LOCATION AND LENGTHS; OFFSETS FOR MANHOLES FROM R/W OR PL FOR THE SEWER FACILITIES; AS LOCATED BY A LICENSED SURVEYOR; ALONG WITH THREE (3) PRINTS OF THE "AS-BUILT" WHICH HAS BEEN SEALED BY THE SURVEYOR.
11. ALL CONNECTIONS FROM EXISTING AUTHORITY MAINS TO BE MADE BY AUTHORITY FORCES ONLY. THE CONTRACTOR TO EXCAVATE AT REQUIRED LOCATIONS AND PROVIDE MATERIAL WITH FITTINGS.
12. IF A VERTICAL DISTANCE BETWEEN THE WATER AND SEWER MAINS IS LESS THAN 18 INCHES WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, OR ANY TIME A WATER MAIN CROSSES UNDER A SEWER MAIN, THE SEWER SHALL BE D.I.P. FOR A DISTANCE OF 20 FEET CENTERLINE ON THE CROSSING.
13. MAINTAIN 10 FEET HORIZONTAL DISTANCE BETWEEN THE WATER AND SEWER MAINS, AS A MINIMUM.
14. CONTRACTOR WILL BE REQUIRED TO OBTAIN THE LATEST PAVING AND DRAINAGE PLAN PREPARED BY SCHWEBKE-SHISKIN AND ASSOCIATES, INC. AND HAVE IT AVAILABLE AT THE JOB SITE FOR THE USE OF MIAMI-DADE WATER AND SEWER AUTHORITY PERSONNEL.
15. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH AWWA STANDARD C-600, LATEST REVISION, AND APPLYING THE FOLLOWING FORMULA:
$$L = \frac{[50 * (P^{1/2})]}{133,200}$$

L = LEAKAGE IN GALLONS  
P = LENGTH OF PIPE IN FEET  
D = DIAMETER OF PIPE IN INCHES  
S = AVERAGE TEST PRESSURE IN LBS. PER SQ. IN.
16. ALL WATER METERS AND SERVICE LINES THAT WILL BE CONNECTED TO EXISTING WATER MAINS WILL BE INSTALLED BY AUTHORITY PERSONNEL.
17. IN THE EVENT UNSUITABLE MATERIAL IS ENCOUNTERED AT THE DEPTH OF THE PROPOSED WATER AND SEWER FACILITIES, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD FOR PROPER DIRECTION PRIOR TO CONTINUANCE OF CONSTRUCTION.
18. ALL VALVE BOXES AND MANHOLE RIMS SHALL BE SET TO MATCH THE PROPOSED GRADES AS PER THE PAVING AND DRAINAGE PLAN PREPARED BY SCHWEBKE-SHISKIN & ASSOCIATES, INC.
19. ALL WATER AND SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MIAMI-DADE WATER AND SEWER AUTHORITY STANDARDS.
20. ALL SEWERS INSTALLED WITHIN THE CONE OF INFLUENCE SHALL NOT EXFILTRATE AT THE RATE IN EXCESS OF 100 GALLONS PER DAY PER INCH OF MAIN PER MILE AND ALL CONSTRUCTION SHALL BE IN CONFORMITY WITH ALL REQUIREMENTS OF SECTION 24-12.1 OF THE DADE COUNTY CODE.
21. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND CHAPTER 90-86 (CS/BS 2626) THE FLORIDA TRENCH SAFETY ACT SHALL BE STRICTLY OBSERVED.
22. ALL ELEVATIONS ON THE PLANS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (NGVD).
23. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
24. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE DADE COUNTY PUBLIC WORKS DEPARTMENT STANDARDS.



1. BEDDING MATERIAL, WHEN NECESSARY, SHALL BE CLEAN SANDY SOIL WHENEVER AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED 3/4" MAX. SIZED CRUSHED LIMESTONE. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID.
2. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017

NOT PART OF WASD APPROVAL

(NOT PART OF M-DWASD NOTES NOR APPROVAL

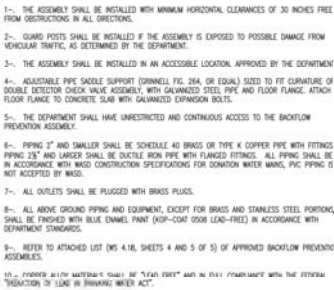
1. SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE




1. SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE.
2. BETWEEN WATER MAINS AND STORM SEWERS, STORMWATER FORCE MAINS, OR RECLAIMED WATER LINES, SHALL BE 3 FT. MINIMUM.
3. BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.
4. GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT. AND AT LEAST 6 FT. DISTANCE BETWEEN WATER MAIN AND GRAVITY SEWER. MAY BE REDUCED TO 3 FT. WHERE BOTTOM OF WATER MAIN IS AT LEAST 6 INCHES ABOVE TOP OF SEWER.
5. 10 FT. MINIMUM TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

1. SEPARATIONS BETWEEN WATER MAINS AND VACUUM TYPE SEWER, OR STORM SEWERS TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW.\*
2. PRESSURE SANITARY SEWER, WASTEWATER, OR STORMWATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.\*

\*NOTE: CENTER ONE FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORMWATER, OR STORMWATER FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS, OR RECLAIMED WATER MAINS.


ALL WATER MAINS 24 INCHES IN DIAMETER OR LESS, SHALL BE BLUE IN COLOR OR HAVE A 2 INCH WIDE BLUE STRIPE PAINTED ALONG THE CENTERLINE OF THE PIPE.



|   |  |  |  |                    |        |  |                            |
|---|--|--|--|--------------------|--------|--|----------------------------|
|   |  | <table><tr><td>CHARGE POST DETAIL</td><td>NO. 43</td></tr><tr><td>ITEM</td><td>GROSS NET SPEC. NET</td></tr></table> |  | CHARGE POST DETAIL | NO. 43 | ITEM   | GROSS NET SPEC. NET        |
| CHARGE POST DETAIL  | NO. 43   |  |  |                    |        |  |                            |
| ITEM  | GROSS NET SPEC. NET                                  |  |  |                    |        |  |                            |
| <table><tr><td>DATE ISSUED</td><td>APPROVED BY</td></tr><tr><td>11/23/2015</td><td>TIA</td></tr></table>  |  | DATE ISSUED  | APPROVED BY  | 11/23/2015         | TIA    | STANDARD DETAIL<br>REDUCED PRESSURE ZONE<br>BACKFLOW PREVENTER<br>FOR WATER SERVICE<br>- NOTES - | WS<br>4.18<br>SHEET 3 of 5 |
| DATE ISSUED   | APPROVED BY  |  |  |                    |        |  |                            |
| 11/23/2015  | TIA  |  |  |                    |        |  |                            |
| <table><tr><td></td><td>DCA GROUP<br/>CONCRETE<br/>Standard Concrete Form Shop</td></tr></table> |  |                                   | DCA GROUP<br>CONCRETE<br>Standard Concrete Form Shop |                    |        |  |                            |
|    | DCA GROUP<br>CONCRETE<br>Standard Concrete Form Shop |  |  |                    |        |  |                            |


(NOT PART OF M-DWASD NOTES OR APPROVAL)



|  |  |                         |                    |            |              |
|--|--|-------------------------|--------------------|------------|--------------|
|  |  | CLARK POST DETAIL       |                    | WS 4.5     |              |
|  |  | ITEM                    |                    | CROSS REF  | SPEC. REF    |
|  |  | STANDARD DETAIL         |                    |            |              |
|  Prybar<br>DOUBLE DETECTOR CHECK VALVE<br>ASSEMBLY FOR FIRELINE SERVICE |  | QUANTITY<br>917/3000000 | APPROVED BY<br>VFC | WS<br>4.20 | SHEET 2 OF 4 |


(NOT PART OF M-DWASD NOTES OR APPROVAL)

3. THE ASSEMBLY SHALL BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCES OF 36 INCHES FREE FROM OBSTRUCTIONS ON ALL DIRECTIONS.
4. GASKET POOL SHALL BE REINSTALLED IF THE ASSEMBLY IS EXPOSED TO POSSIBLE DAMAGE FROM VEHICULAR TRAFFIC, AS DETERMINED BY THE JURISDICTION.
5. THE ASSEMBLY SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION, APPROVED BY THE DEPARTMENT.
6. ALL JOINTS SHALL BE FLANGED OR RESTRAINED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
7. ALL ABOVE GROUND PIPES SHALL BE PROTECTED AGAINST BRUISES AND STAINLESS STEEL PORTFOLIOS, SHALL BE MADE OF 304 OR 316 CHROME/ NICKEL, EXCEPT 304 SS DUE TO LEAK-FREE, IN ACCORDANCE WITH DEPARTMENT STANDARDS.
8. THE DEPARTMENT WILL PROVIDE CHARGE AND PAYS FOR GATE VALVES.
9. FOR RETROFIT PROJECTS, REPLACE THE EXISTING GASKET CHECK VALVE SEAL WITH A SPSSD, PEEKS AND INSTALL A NEW DOUBLE DETECTOR CHECK VALVE ASSEMBLY WITH IDENTICAL PROPERTIES.
10. ADJUSTABLE PIPE SADDLE SUPPORT (SPRINKLER IFC 264, OR EQUAL) SHOULD BE FIT CURVATURE OF YOUR DETECTOR CHECK VALVE ASSEMBLY, WITH ADJUSTED STEEL PIPE AND FLOOR FLANGES, ATTACH FLOOR FLANGES TO DETECTOR CHECK VALVE EXPANSION JOINTS.
11. THE DEPARTMENT SHALL HAVE UNRESTRICTED AND CONTINUOUS ACCESS TO THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY.

|   |             |             |   |  |                             |
|---|-------------|-------------|---|--|-----------------------------|
|  | DATE REC'D  | APPROVED BY | STANDARD DETAIL   |  | REV. 4.5                    |
|   | DATE/ISSUED | DATE        | DOUBLE DETECTOR CHECK VALVE ASSEMBLY FOR FIRELINE SERVICE NOTES |  | CROSSL<br>REV<br>SPEC. REV. |
|   |             |             |   |  | WS<br>4.20<br>SHEET 3 of 4  |


(NOT PART OF M-DWASD NOTES OR APPROVAL)



|  |                          |                     |   |                               |
|--|--------------------------|---------------------|---|-------------------------------|
| <br>PULSAR COUNTY<br>COUNTY ENGINEER<br>COUNTY COMMISSIONER | ISSUE DATE<br>11/29/2012 | APPROVED BY<br>T.A. | STANDARD DETAIL<br>REDUCED PRESSURE ZONE<br>BACKFLOW PREVENTER<br>FOR WATER SERVICE<br>3/4" THRU 2" | WS 4.8<br>4.8<br>SHEET 1 of 5 |
|  |                          |                     | CROSS REF.<br>SPEC. REF.  | WS 4.8<br>SPEC. REF.          |

(NOT PART OF M-DWASD NOTES OR APPROVAL)

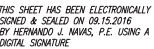
| DATE    | DESCRIPTION     | AMOUNT | CHECK NO. | CHECK DATE | DEBIT | CREDIT | BALANCE |
|---------|-----------------|--------|-----------|------------|-------|--------|---------|
| 1/1/20  | OPENING BALANCE |        |           |            |       |        | 100.00  |
| 1/15/20 | PAYROLL         | 50.00  | 101       | 1/15/20    | 50.00 |        | 50.00   |
| 1/20/20 | RENT            | 25.00  | 102       | 1/20/20    | 25.00 |        | 25.00   |
| 1/25/20 | UTILITIES       | 10.00  | 103       | 1/25/20    | 10.00 |        | 15.00   |
| 2/1/20  | CLOSING BALANCE |        |           |            |       |        | 15.00   |

|   |  |                         |                     |                 |  |               |               |
|---|--|-------------------------|---------------------|-----------------|--|---------------|---------------|
|  |  | ISSUE DATE<br>6/26/2012 | APPROVED BY<br>T.A. | STANDARD DETAIL |  | CROSS<br>REF. | SPEC.<br>REF. |
| APPROVED<br>BACKLOG PREVENTION<br>ASSEMBLIES<br>- NOTES -                             |  |                         |                     | WS<br>4.18      |  | SHEET 4 of 5  |               |

(NOT PART OF M-DWASD NOTES OR APPROVAL)

240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

| Date | Remarks | By |
|------|---------|----|
|      |         |    |
|      |         |    |
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|      |         |    |
|      |         |    |



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**BOB GRAHAM OFFICE BUILDING**

WATER AND SEWER  
DETAILS

TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: RBC Date: 07/05/10

Checked By: HJN Date: 11/07/1

Order No. 205748 FB. 00000 Pg.0

Drawing Status: PERMIT

Hernando J. Navas  
P.E., Principal

State of Florida

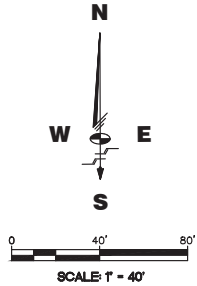
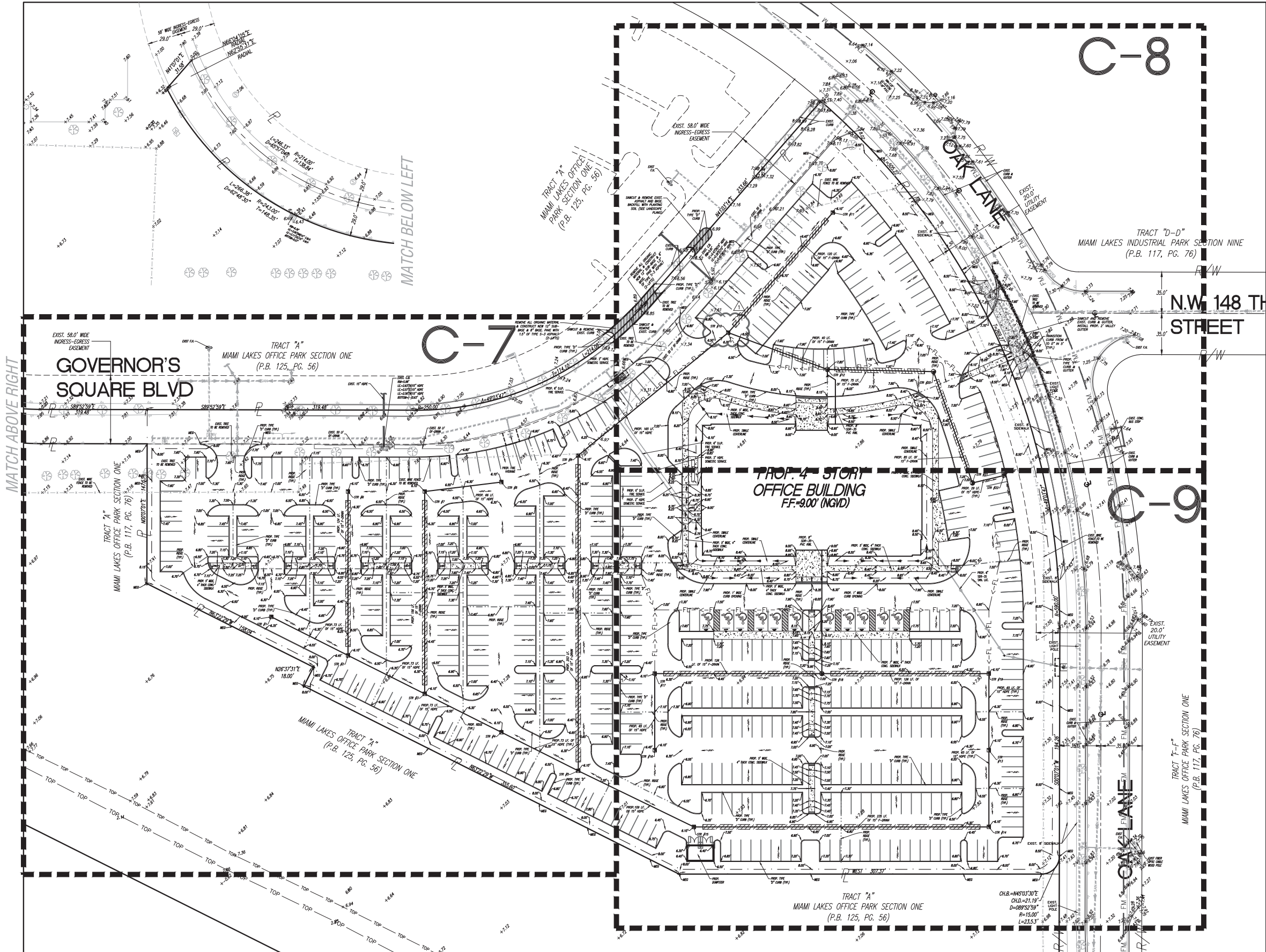
Scale: As Noted

File No. **ML-1154**

Dwg. No:

# C-5

OF: C-21



EXISTING FEATURES LEGEND:

- ⊙ DENOTES EXISTING FIRE HYDRANT
- ⊙ DENOTES EXISTING ELEVATIONS
- ⊙ DENOTES WATER VALVE
- ⊙ DENOTES WOOD LIGHT POLE
- ⊙ DENOTES WOOD POWER POLE
- ⊙ DENOTES PROPERTY LINE
- ⊙ DENOTES RIGHT OF WAY LINE
- ⊙ DENOTES RIGHT OF WAY LINE
- ⊙ DENOTES SANITARY SEWER CLEANOUT
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊙ DENOTES FORCE MAIN MANHOLE
- ⊙ DENOTES FORCE MAIN VALVE
- ⊙ DENOTES F.P.L. ELECTRIC MANHOLE
- ⊙ DENOTES F.P.L. TRANSFORMER PAD
- ⊙ DENOTES CATCH BASIN
- ⊙ DENOTES EXISTING TREE
- ⊙ DENOTES EXISTING PAVING
- ⊙ DENOTES IRRIGATION VALVE
- ⊙ DENOTES GUARD POST
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊙ DENOTES SIGN POST
- ⊙ DENOTES ALUMINUM POST
- ⊙ DENOTES EXIST FENCE

PROPOSED FEATURES LEGEND:

- 6.30' DENOTES PROPOSED ELEVATION
- ⊙ DENOTES PROPOSED FRENCH DRAIN W/ INLET
- ⊙ DENOTES PROPOSED INVERT W/ BAFFLE
- ⊙ DENOTES PROPOSED INVERT ELEVATION
- ⊙ DENOTES PROPOSED SLOPE TIPS
- ⊙ DENOTES FLOW DIRECTION
- ⊙ DENOTES PROPOSED RIDGE LINE
- ⊙ DENOTES PROPOSED FLOW LINE
- ⊙ DENOTES RAMP UP DIRECTION
- ⊙ DENOTES PROPOSED SIGN
- ⊙ DENOTES PROPOSED WHEEL STOP
- ⊙ DENOTES PROPOSED CENTERLINE
- ⊙ DENOTES MATCH EXISTING GRADE
- ⊙ DENOTES PROPOSED DRAINAGE MANHOLE
- ⊙ DENOTES PROPOSED SAWCUT LINE
- ⊙ DENOTES PROPOSED CONC. SIDEWALK
- ⊙ DENOTES PROPOSED DETECTABLE WARNING
- ⊙ DENOTES PROPOSED PAVING
- ⊙ DENOTES CROSS-SECTION NAME
- ⊙ DENOTES PROPOSED CROSS-SECTION
- ⊙ DENOTES SHEET NUMBER

**Schwebke Shiskin & Associates, Inc.**

LAND SURVEYORS  
CIVIL ENGINEERS  
LAND PLANNERS  
LB#87 CA#87

3240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

| REVISIONS |                        |      |
|-----------|------------------------|------|
| Date      | Remarks                | By   |
| 11/07/16  | REVISE PER SP COMMENTS | B.I. |
|           |                        |      |
|           |                        |      |
|           |                        |      |
|           |                        |      |



THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON XX.XX.2016 BY HERNANDO J. NAVAS, P.E. USING A DIGITAL SIGNATURE

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**BOB GRAHAM OFFICE BUILDING**

**PAVING, GRADING AND DRAINAGE PLAN**

TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BI Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 PB Sketches & 00000 Pg. 00

Drawing Status: PERMIT

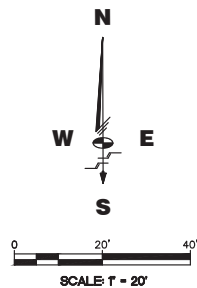
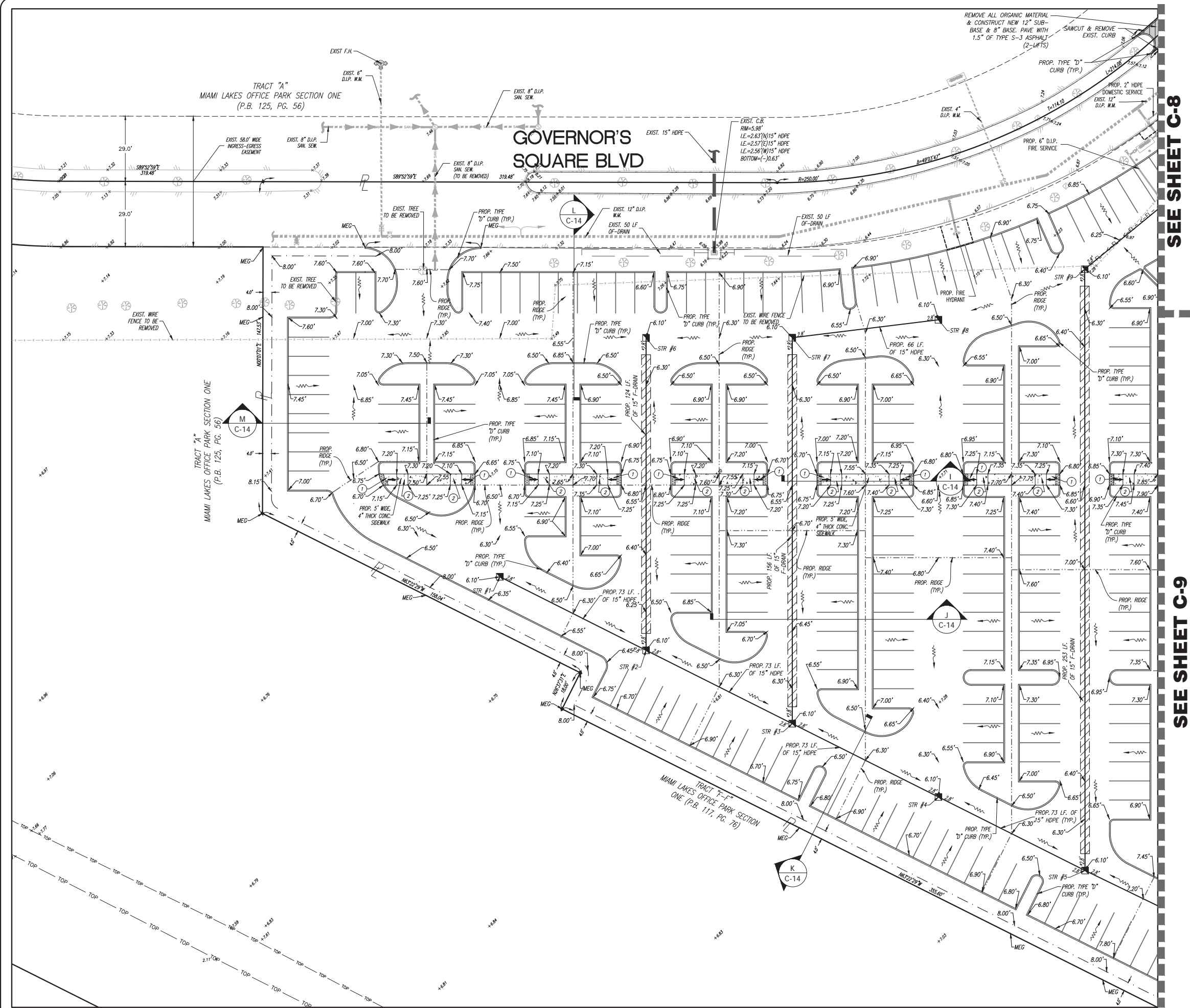
By: **Hernando J. Navas**  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

Scale: As Noted

File No. **ML-1154**

Dwg. No: **C-6**

OF: C-21

Schwebke  
Shiskin &

**EXISTING FEATURES LEGEND:**

SEE SHEET C-7

SEE SHEET C-9

### Flood Legend

Process #: Folio: 32-2022-008-0013 PB 125 PG 56  
Address: 14800 OAK LANE, MIAMI LAKES, FL. Highest Crown of Road Elev.: 7.92'  
Average Crown of Road Elev.: 7.34'

Highest Crown of Road Elevation above was taken from a certified survey prepared by:

MARK S. JOHNSON PLS Lic # 4775  
Surveyor's Name

PAVING AND DRAINAGE PLANS MUST BE ATTACHED

DERM/WC - ENVIRONMENTAL RESOURCES PERMIT (ERP COPY ATTACHED) # XX-XXXX-P  
SPWMD - SURFACE STORMWATER PERMIT (SWM PERMIT COPY ATTACHED) # N/A

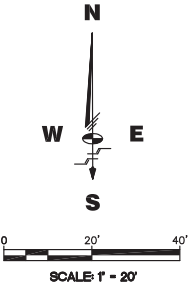
Total Impervious Area: 5.17 AC.

Underground Parking: YES / (NO) (circle one) Basement: YES / (NO) (circle one)

|          | Lowest Floor Elev. | Adjacent Grade Elev. | Lowest Catch Basin | Retention Area |
|----------|--------------------|----------------------|--------------------|----------------|
| PROPOSED | 9.00'              | 8.50'/8.10'          | 6.10'              | N/A            |
| EXISTING | N/A                | N/A                  | N/A                | N/A            |

OTHER MINIMUM PROPOSED ELEVATIONS:  
1. LOWEST PROP. ELEV. FOR EQUIPMENT SERVING BUILDING= 9.00'  
2. LOWEST PROP. ELEV. ELEVATOR MACHINE ROOM= 9.00'

FEDERAL FLOOD HAZARD "AE" (EL. 6 FEET) PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 120686 0112 L MAP DATED SEPTEMBER 11, 2009 WITH AN INDEX DATE OF SEPTEMBER 11, 2009 (MAP NO. 12086C0112L)



Schwebke  
Shiskin &  
Associates, Inc.

LAND SURVEYORS  
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LB#87 CA#87

3240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

### REVISIONS

| Date     | Remarks                      | By |
|----------|------------------------------|----|
| 11/07/16 | REVISE PER SP COMMENTS. B.I. |    |



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**BOB GRAHAM OFFICE BUILDING**  
PAVING, GRADING AND DRAINAGE  
PLAN  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BI Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 PB Sketches & 0000 Pg.00

Drawing Status: PERMIT

By: **Hernando J. Navas**  
P.E., Principal

Registered Engineer No. 50635  
State of Florida

Scale: As Noted

File No. **ML-1154**

Dwg. No:

**C-8**

OF: C-21

### EXISTING FEATURES LEGEND:

- 6.00' DENOTES EXISTING FIRE HYDRANT
- 6.00' DENOTES EXISTING ELEVATIONS
- 6.00' DENOTES WATER VALVE
- 6.00' DENOTES WOOD LIGHT POLE
- 6.00' DENOTES WOOD POWER POLE
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- 6.30' DENOTES CROSS-SECTION NAME
- 6.30' DENOTES PROPOSED CROSS-SECTION
- 6.30' DENOTES SHEET NUMBER

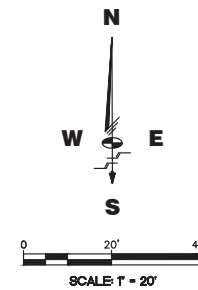
### NOTES:

- 1 DENOTES PROPOSED ADA RAMP WITH 2' WIDE TACTILE SURFACE AT 8.3% SLOPE MAX.-LONG. SLOPE 2% MAX (SEE SHEET C-13, SECTION I)
- 2 DENOTES PROPOSED 5'X5' LANDING @ 2% SLOPE MAX. ALL DIRECTIONS
- 3 DENOTES PEDESTRIAN RAMP AT 8.3% SLOPE MAX.

## SEE SHEET C-8

PROP. 4 - STORY  
OFFICE BUILDING  
FF-9.00' (NGVD)

SEE SHEET C-7



## EXISTING FEATURES LEGEND:

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## NOTES:

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- ③ DENOTES PEDESTRIAN RAMP AT 8.3% SLOPE MAX.

Schwebke  
Shiskin &

Associates, Inc.

LAND SURVEYORS  
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LAND PLANNERS  
LB#87 CA#873240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

## REVISIONS

| Date | Remarks | By |
|------|---------|----|
|      |         |    |
|      |         |    |
|      |         |    |
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PRINTED COPIES SHALL HAVE AN ORIGINAL  
SIGNATURE AND DATEBOB GRAHAM OFFICE BUILDING  
PAVING, GRADING AND DRAINAGE  
PLAN  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BI Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 PB Sketches &  
00000 Pg. 00

Drawing Status: PERMIT

By:

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P.E., PrincipalRegistered Engineer No. 50635  
State of Florida

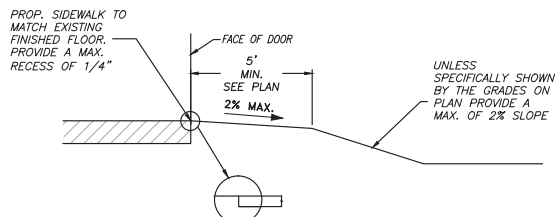
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File No. ML-1154

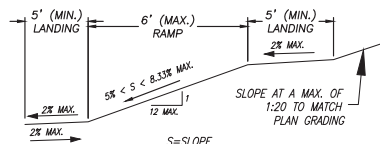
Dwg. No:

C-9

OF: C-21

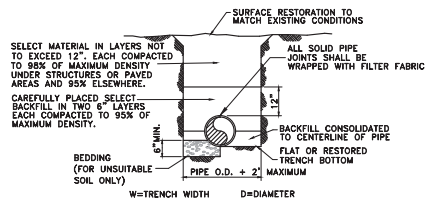


GRADING AT BUILDING EXITS/ENTRANCES



TYPICAL CURB RAMP PROFILE

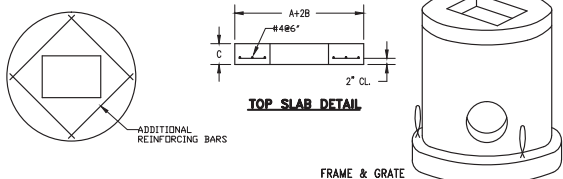
NOTE: RAMP RUN SLOPES EXCEEDING 5% SHALL BE 6' OR LESS, NO EXCEPTIONS



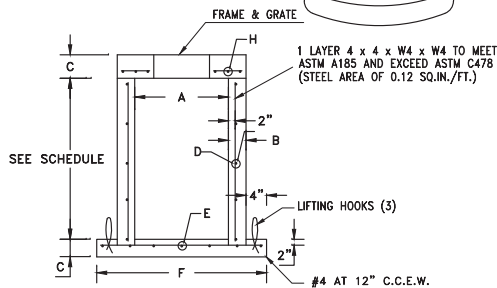
- NOTES:
1. BEDDING MATERIAL WHEN NECESSARY, SHALL BE CLEAN SANDY SOIL WHENEVER AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED 3/4\"
  2. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
  3. IF #57 STONE IS USED, CONTRACTOR SHALL PROVIDE FILTER FABRIC OVER THE #57 STONE TO AVOID SOIL MIGRATION.

TRENCH DETAIL

N.T.S.



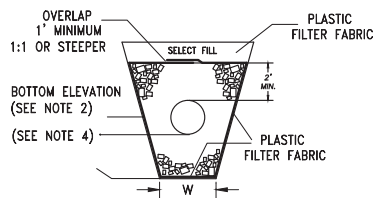
TOP SLAB DETAIL



| AØ    | B  | C  | D          | E* C.C.E.W. | FØ    | GØ    | H* C.C.E.W. | WELDING (min/ft) |
|-------|----|----|------------|-------------|-------|-------|-------------|------------------|
| 3'-6" | 6" | 8" | ASTM C-478 | #4 AT 12"   | 5'-0" | 4'-6" | #4 AT 6"    | 72               |
| 4'-0" | 6" | 8" | ASTM C-478 | #4 AT 12"   | 6'-0" | 5'-0" | #4 AT 6"    | 94               |
| 4'-0" | 8" | 8" | ASTM C-478 | #4 AT 12"   | 6'-4" | 5'-4" | #4 AT 6"    | 94               |
| 5'-0" | 8" | 8" | ASTM C-478 | #5 AT 12"   | 7'-4" | 6'-4" | #5 AT 6"    | 147              |
| 6'-0" | 6" | 8" | ASTM C-478 | #5 AT 6"    | 8'-0" | 7'-0" | #5 AT 6"    | 211              |
| 6'-0" | 8" | 8" | ASTM C-478 | #5 AT 6"    | 8'-4" | 7'-4" | #5 AT 6"    | 211              |

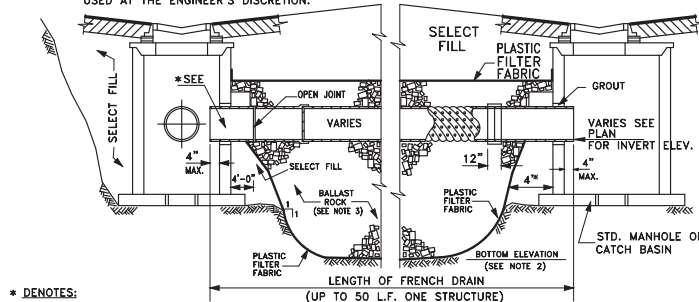
\*GRADE 40, OR FOR EQUIVALENT STEEL DESIGNS.

TYPE "C" CATCH BASIN  
42"-120" ROUND STRUCTURE



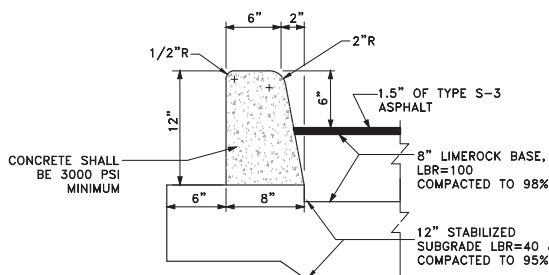
ALTERNATE TRANSVERSE SECTION

MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL, OR WHERE CAVE IN BELOW THE WATER TABLE IS LIKELY TO OCCUR, TO BE USED AT THE ENGINEER'S DISCRETION.



\* DENOTES:  
NO SLOTS OR PERFORATIONS  
ON THIS LENGTH OF PIPE.

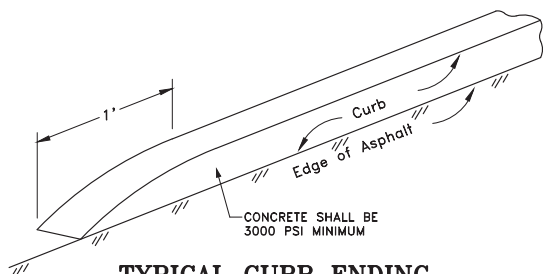
LONGITUDINAL SECTION  
EXFILTRATION TRENCH



TYPE 'D' CURB

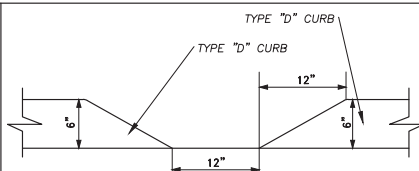
N.T.S.

NOTE: SAWCUTS REQUIRED AT 10' O.C.  
WITHIN 48 HOURS OF POUR



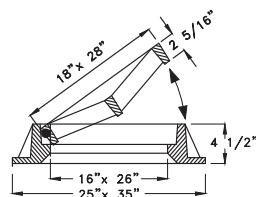
TYPICAL CURB ENDING

N.T.S.



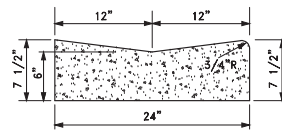
CURB OPENING

N.T.S.



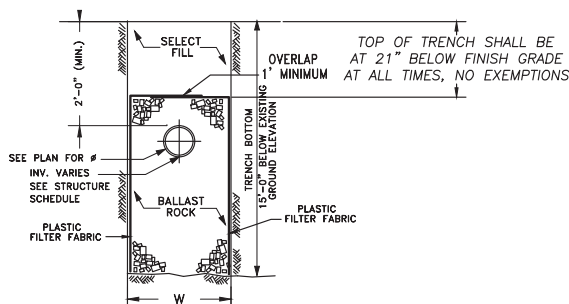
USF #4700 & 6223 GRATE  
HINGED FRAME

N.T.S.



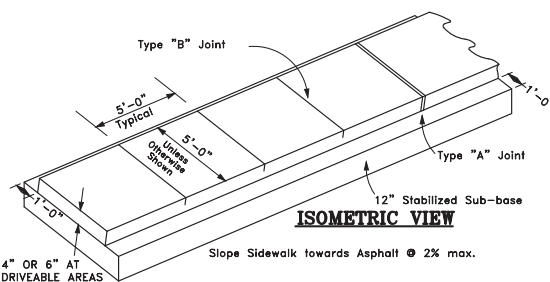
2' VALLEY GUTTER

N.T.S.

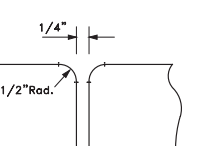


NOTES:  
W=4.0' FOR 15, 18" AND 24" Ø PIPES  
TRANSVERSE SECTION

- NOTES:
1. PLASTIC FILTER FABRIC (AT EACH SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS, AND/OR AS DIRECTED BY THE ENGINEER.
  2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
  3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
  4. INVERT ELEVATION TO BE AS SHOWN IN THE STRUCTURE TABLE  
AVERAGE OCTOBER GROUND WATER ELEV.= 3.50
  5. FILTER FABRIC SHALL BE MIRAFI FW404 OR EQUAL.

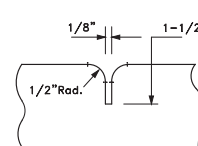


ISOMETRIC VIEW



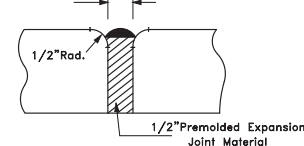
Type "A" Joint

- all P.C. & P.T.s of Sidewalk,
- Junctions with Existing Sidewalk, &
- 20 L.F. Intervals.



Type "B" Joint

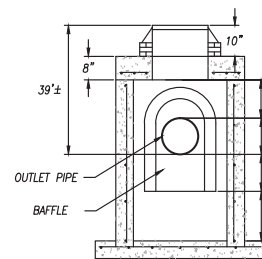
- 5 L.F. Intervals



Type "C" Joint

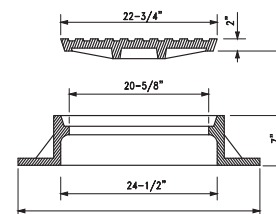
Where Sidewalk Abuts Driveways  
and Concrete Curbs etc.

SIDEWALK DETAILS

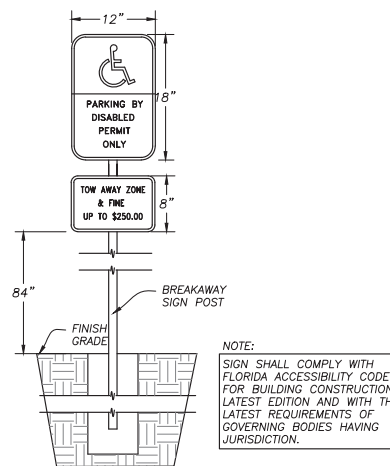


BAFFLE INSTALLATION DETAIL

N.T.S.



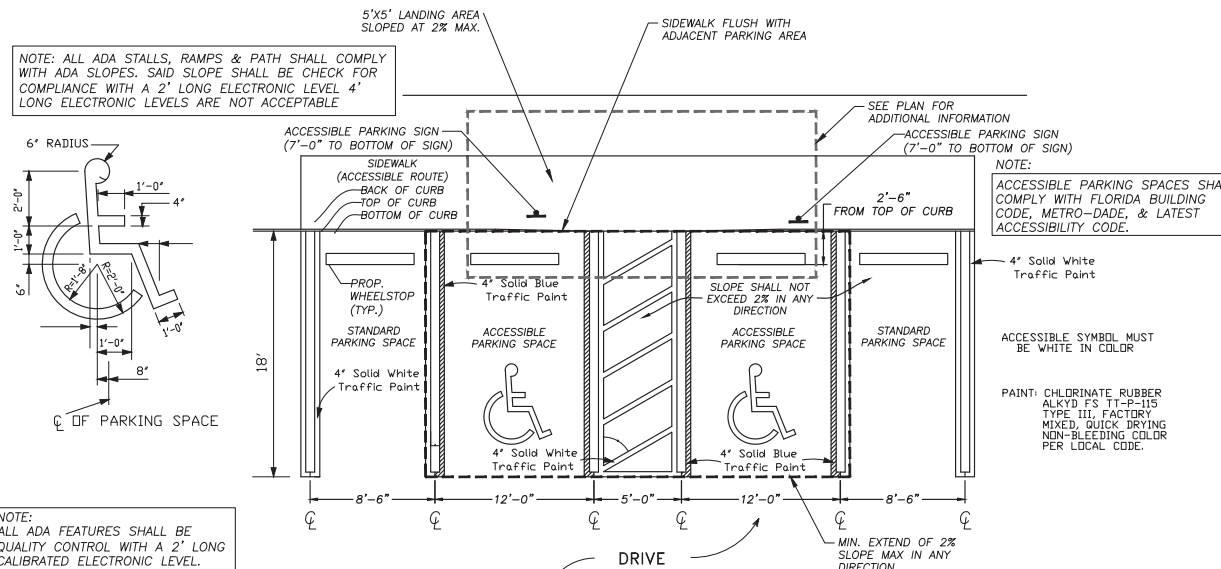
USF# 420 C  
MANHOLE FRAME & LID



ACCESSIBLE PARKING SIGN

(N.T.S.)

SEE MIAMI-DADE COUNTY PUBLIC WORKS DETAIL R18.3  
FOR ADDITIONAL SIGN SPECIFICATIONS



ACCESSIBLE SYMBOL & PARKING  
DETAIL

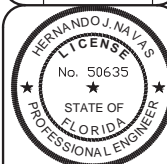
Schwebke  
Shiskin &  
Associates, Inc.

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CIVIL ENGINEERS  
LAND PLANNERS  
LB#87 CA#87

3240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

REVISIONS

| Date | Remarks | By |
|------|---------|----|
|      |         |    |
|      |         |    |
|      |         |    |
|      |         |    |



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BOB GRAHAM OFFICE BUILDING  
PAVING, GRADING AND DRAINAGE  
DETAILS  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BJ Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 FB Sketches & 00000 Pg. 00

Drawing Status: PERMIT

By: **Hernando J. Navas**  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

Scale: As Noted

File No. **ML-1154**

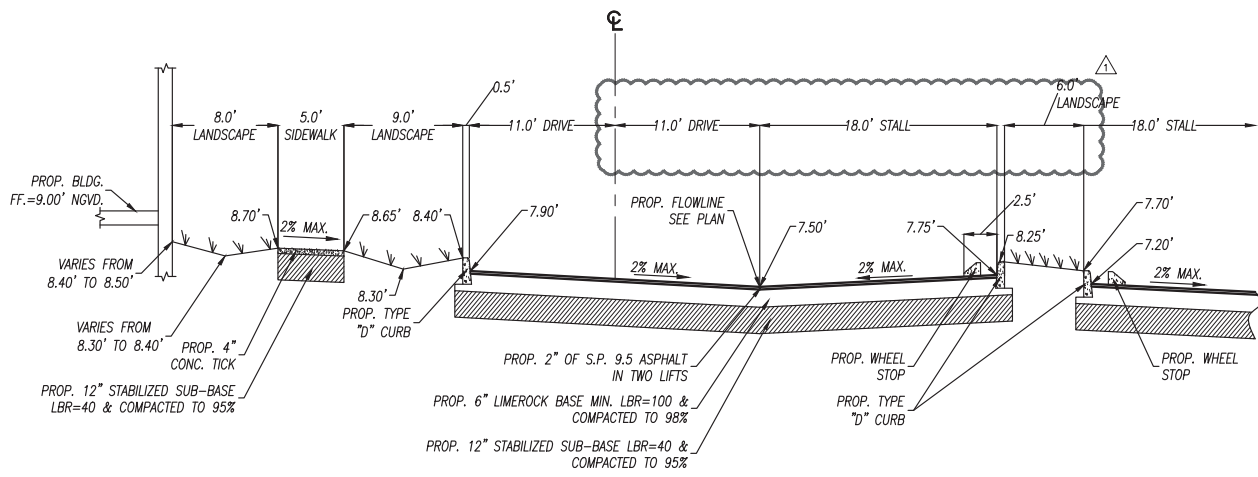
Dwg. No:

**C-10**

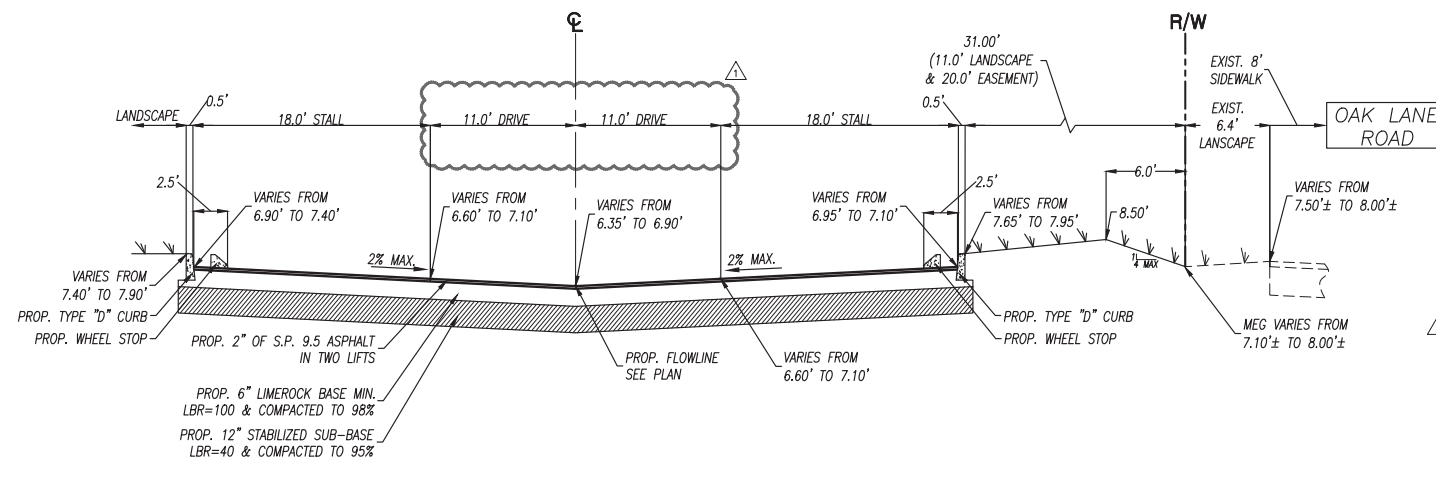
OF: C-21



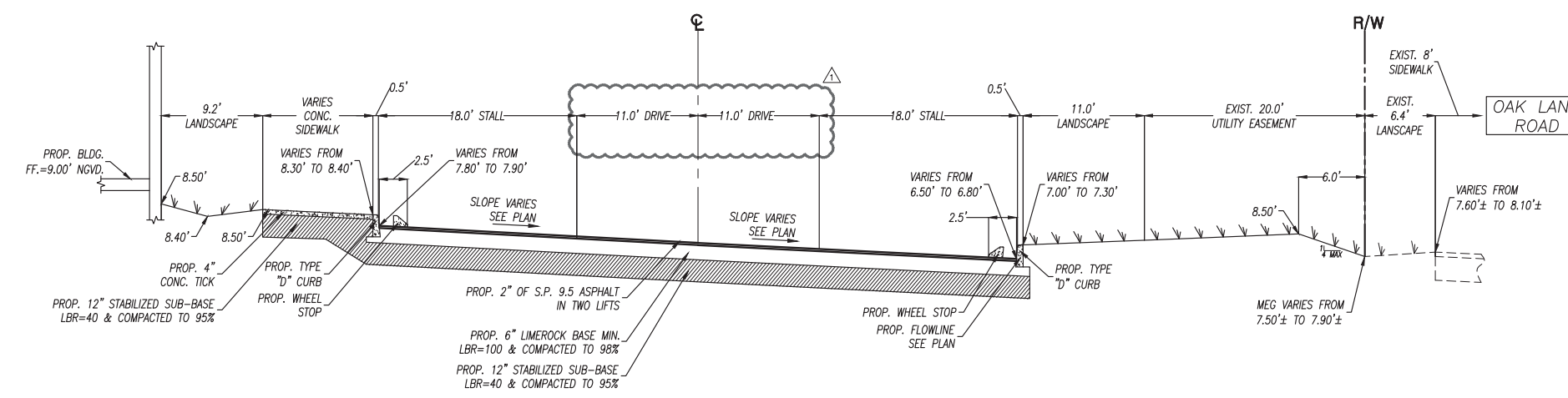




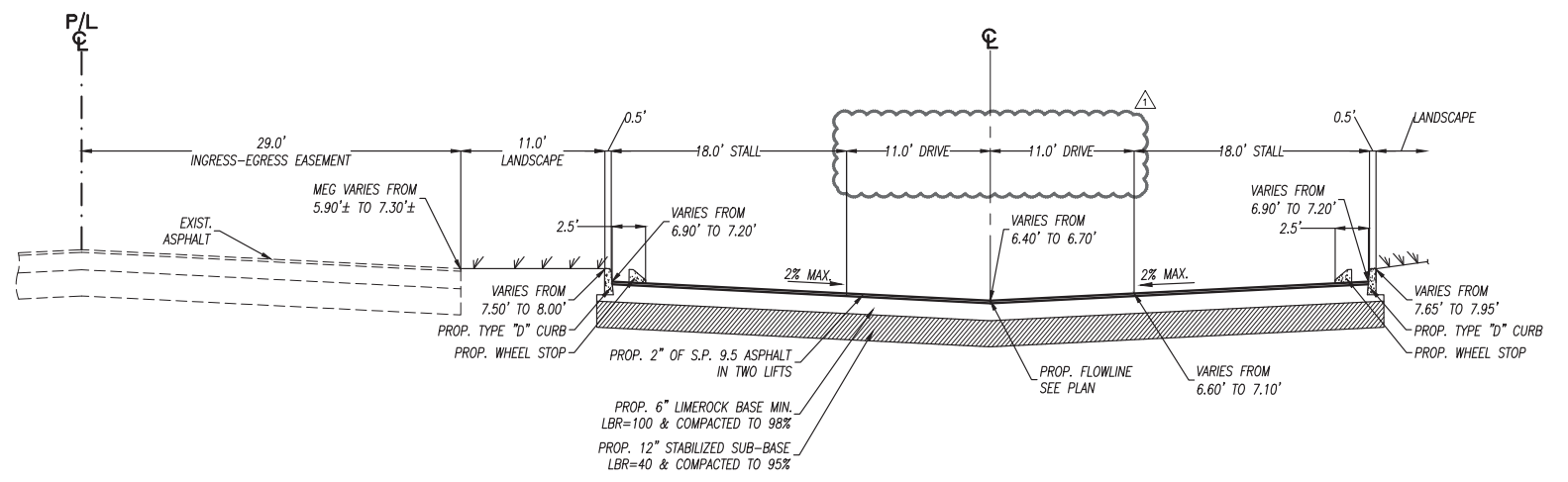
SECTION 'C'  
NTS.



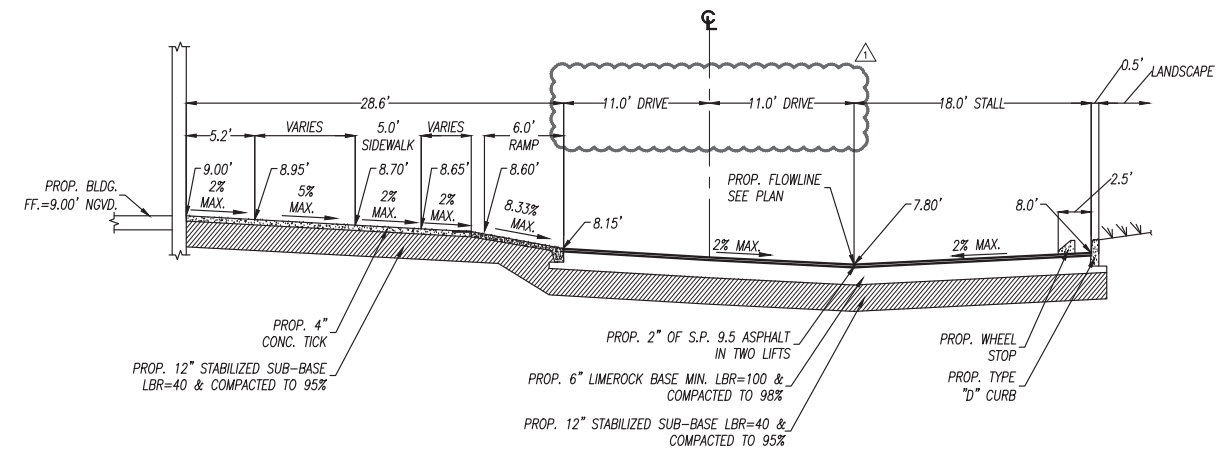
SECTION 'F'  
NTS.



SECTION 'D'  
NTS.



SECTION 'G'  
NTS.

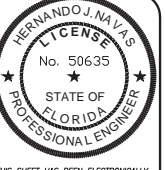


SECTION 'E'  
NTS.

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MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

| REVISIONS |                        |    |
|-----------|------------------------|----|
| Date      | Remarks                | By |
| 11/07/16  | REVISE PER SP COMMENTS | BL |
|           |                        |    |
|           |                        |    |
|           |                        |    |
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**BOB GRAHAM OFFICE BUILDING**  
PAVING, GRADING AND DRAINAGE  
CROSS SECTIONS  
TOWN OF MIAMI LAKES, Florida SEC. 22, Trwp. 52, Rge. 40

Drawn By: BL Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 FB 00000 Pg. 00

Drawing Status: PERMIT

By:  
**Hernando J. Navas**  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

Scale: As Noted

File No. **ML-1154**

Dwg. No:

**C-13**

OF: C-21



F: C-21

Schwebke  
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TEL: (305)652-7010  
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REVISIONS

| Date     | Remarks                     | By |
|----------|-----------------------------|----|
| 11/07/16 | REVISE PER SP COMMENTS B.I. |    |
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**BOB GRAHAM OFFICE BUILDING**  
PAVEMENT MARKING AND SIGNAGE  
PLAN  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BI Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 PB Sketches &  
00000 Pg. 00

Drawing Status: PERMIT

By:  
**Hernando J. Navas**  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

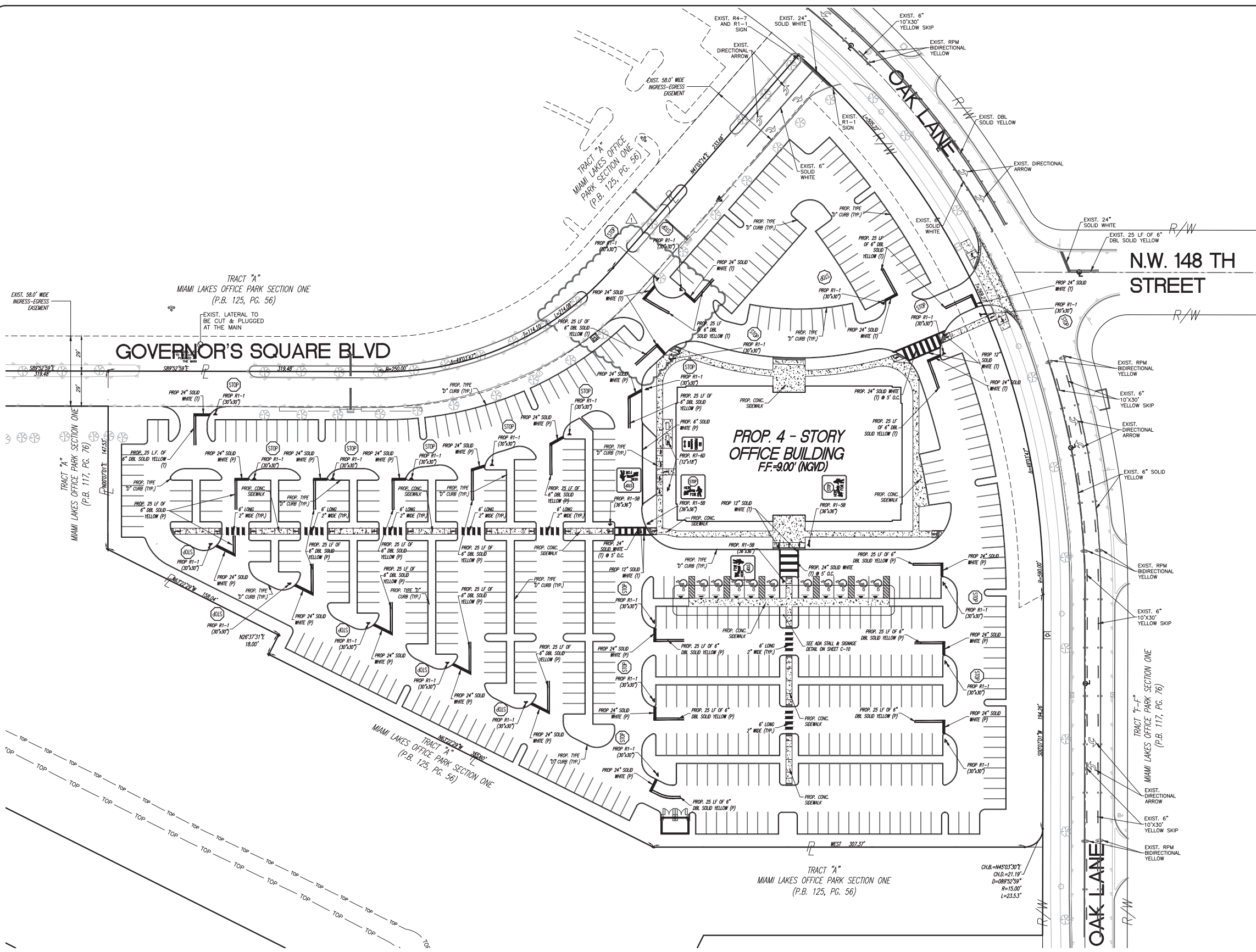
Scale: As Noted

File No. **ML-1154**

Dwg. No:

**C-15**

OF: C-21



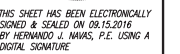
TRAFFIC SIGNAGE AND MARKING NOTES:

- (T) DENOTES THERMOPLASTIC MARKING PER F-DOT SPECS.
- (P) DENOTES TRAFFIC PAINT PER F-DOT SPECS.
- ALL STOP SIGNS SHALL BE 30"X30" HIGH DENSITY AND REFLECTIVE.

**NOT A PART OF M-DWASD APPROVAL**

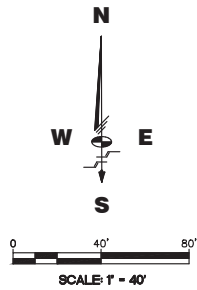
240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

| Date | Remarks | By |
|------|---------|----|
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## TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 32, Rge. 40



|   |  |
|---|--|
|    | DENOTES EXISTING TREE                        |
|    | DENOTES PROPERTY LINE                        |
|    | DENOTES RIGHT OF WAY LINE                    |
|    | DENOTES CENTER LINE                          |
|    | DENOTES EXISTING FENCE                       |
|   | DENOTES EXISTING POWER POLE                  |
|  | DENOTES EXISTING ASPHALT                     |
|  | DENOTES EXISTING WATER VALVE                 |
|  | DENOTES EXISTING DRAINAGE MANHOLE            |
|  | DENOTES EXISTING SANITARY MAN HOLE           |
|  | DENOTES EXISTING INLET                       |
|  | DENOTES EXISTING SIGN                        |
|  | DENOTES PROPOSED STORM INLET/M.H.            |
|  | DENOTES PROPOSED FRENCH DRAIN                |
|  | DENOTES PROPOSED BOLLARD                     |
|  | DENOTES PROPOSED VACUUM BREAKER IRRIGATION   |
|  | DENOTES PROPOSED BACK FLOW PREVENTER         |
|  | DENOTES PROPOSED DOUBLE DETECTOR CHECK VALVE |
|  | DENOTES PROPOSED FIRE HYDRANT                |
|  | DENOTES PROPOSED WATER VALVE                 |
|  | DENOTES PROPOSED WATER TEE                   |
|  | DENOTES PROPOSED 90° BEND                    |
|  | DENOTES PROPOSED 45° BEND                    |
|  | DENOTES PROPOSED 11.25° BEND                 |

1. REFER TO SHEET C-17 FOR SITE  
GEOMETRIC PLAN

OF: C-21

Schwebke  
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REVISIONS

| Date     | Remarks                     | By |
|----------|-----------------------------|----|
| 11/07/16 | REVISE PER SP COMMENTS B.I. |    |
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|          |                             |    |
|          |                             |    |



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BOB GRAHAM OFFICE BUILDING  
SITE GEOMETRIC  
PLAN  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BJ Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 FB Sketches &  
00000 Pg. 00

Drawing Status: PERMIT

By:  
Hernando J. Navas  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

Scale: As Noted

File No. ML-1154

Dwg. No:

C-17

OF: C-21



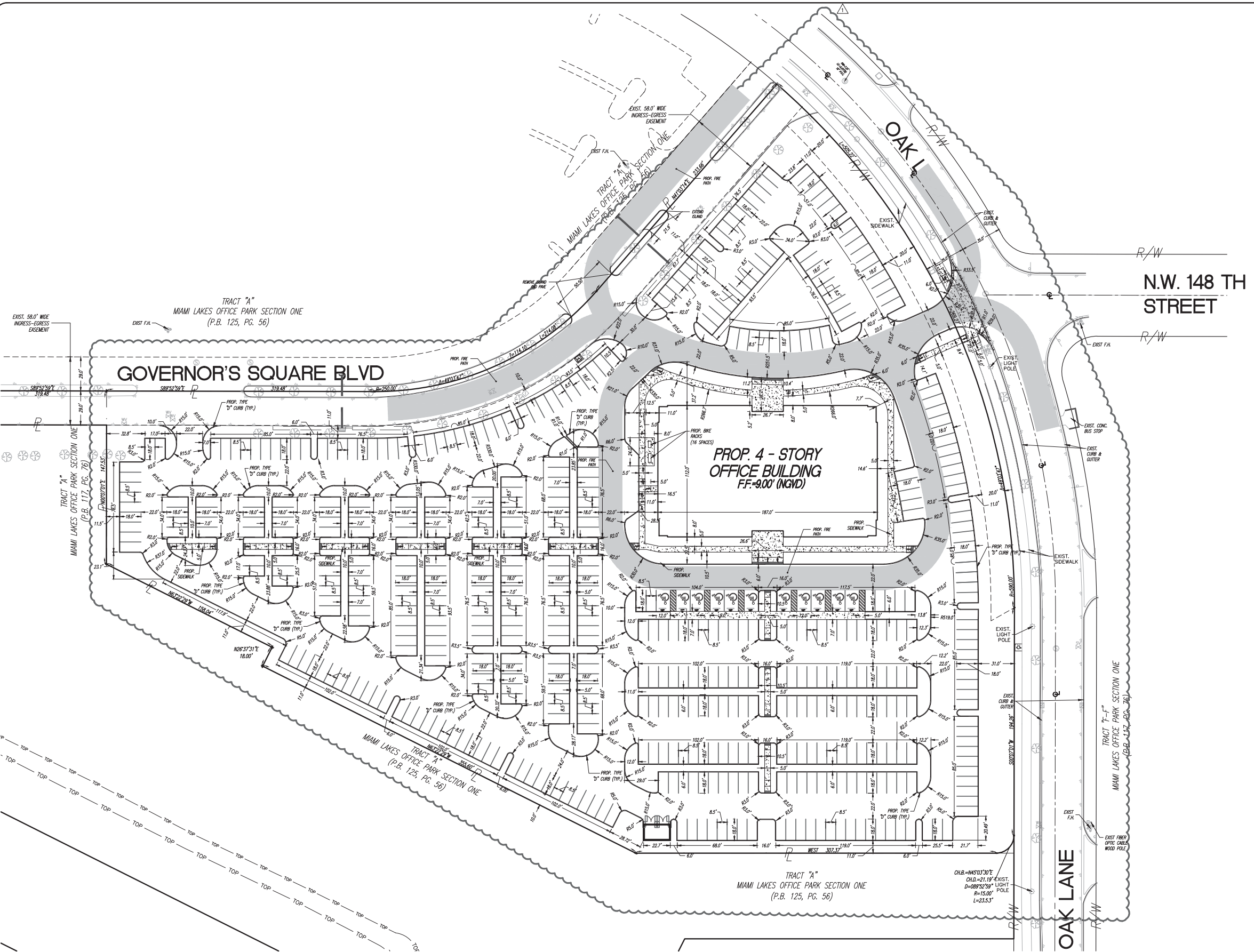
SCALE 1" = 40'

EXISTING FEATURES LEGEND:

- ⊙ DENOTES EXISTING FIRE HYDRANT
- ⊙ DENOTES EXISTING ELEVATIONS
- ⊙ DENOTES WATER VALVE
- ⊙ DENOTES WOOD LIGHT POLE
- ⊙ DENOTES WOOD POWER POLE
- DENOTES PROPERTY LINE
- R/W DENOTES RIGHT OF WAY LINE
- DENOTES RIGHT OF WAY LINE
- ⊙ DENOTES SANITARY SEWER CLEANOUT
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊙ DENOTES FORCE MAIN MANHOLE
- ⊙ DENOTES FORCE MAIN VALVE
- ⊙ DENOTES F.P.L. ELECTRIC MANHOLE
- ⊙ DENOTES F.P.L. TRANSFORMER PAD
- ⊙ DENOTES CATCH BASIN
- ⊙ DENOTES EXISTING TREE
- ⊙ DENOTES EXISTING PAVING
- ⊙ DENOTES IRRIGATION VALVE
- ⊙ DENOTES GUARD POST
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊙ DENOTES SIGN POST
- ⊙ DENOTES ALUMINUM POST
- DENOTES EXIST FENCE

PROPOSED FEATURES LEGEND:

- ⊙ DENOTES STALL COUNT
- DENOTES RAMP UP DIRECTION
- ⊙ DENOTES PROPOSED SIGN
- ⊙ DENOTES PROPOSED WHEEL STOP
- DENOTES PROPOSED CENTERLINE
- ⊙ DENOTES PROPOSED CONC. SIDEWALK
- ⊙ DENOTES PROPOSED DETECTABLE WARNING
- ⊙ DENOTES PROPOSED FIRE PATH



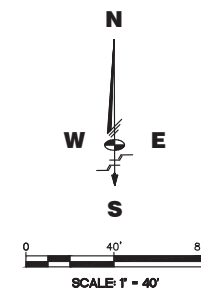
| Date | Remarks | By |
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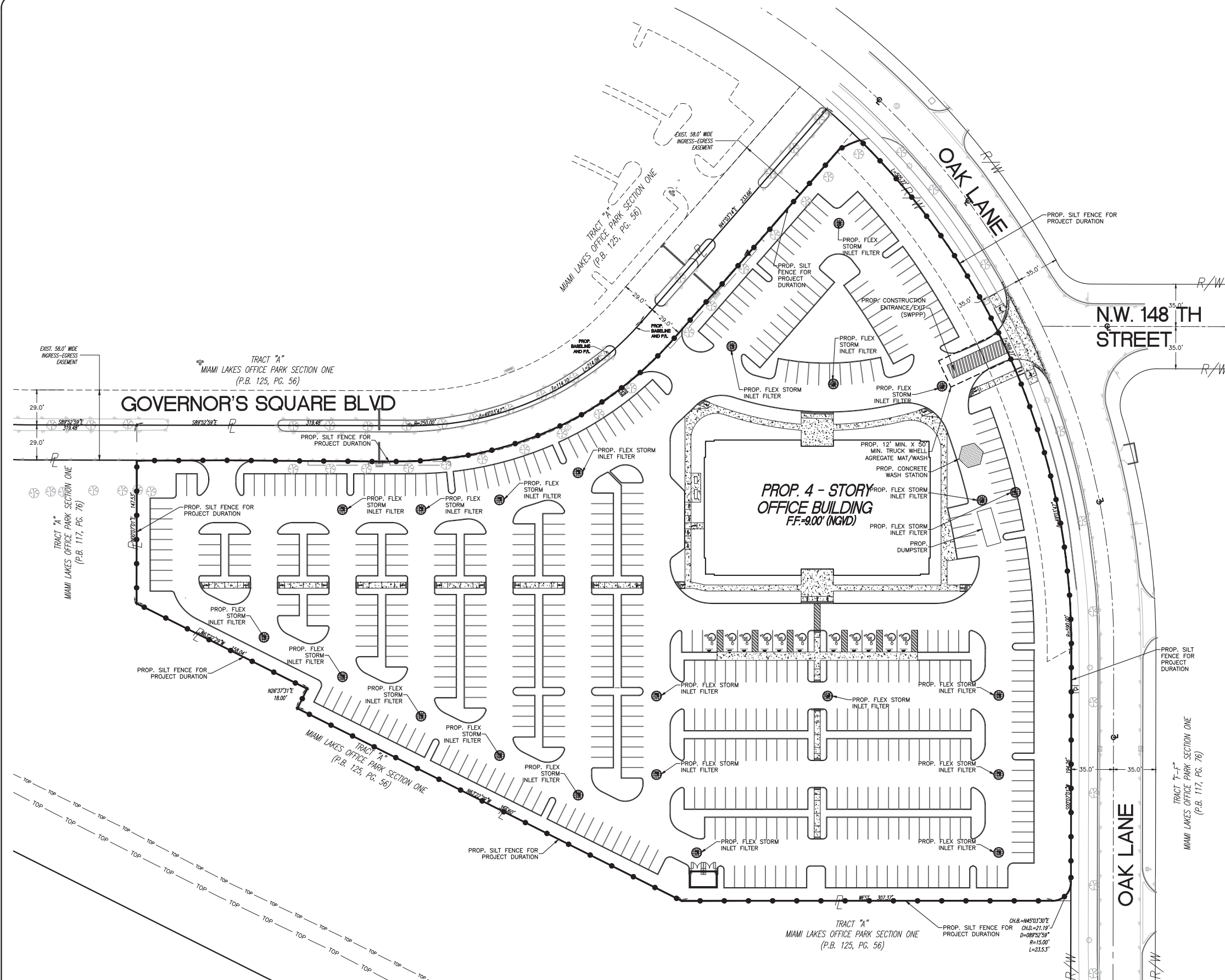
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

OF: C-21



|   |                                 |
|---|---------------------------------|
|    | DENOTES EXISTING FIRE HYDRANT   |
|    | DENOTES EXISTING ELEVATIONS     |
|    | DENOTES WATER VALVE             |
|    | DENOTES WOOD LIGHT POLE         |
|    | DENOTES WOOD POWER POLE         |
|    | DENOTES PROPERTY LINE           |
|    | DENOTES RIGHT OF WAY LINE       |
|    | DENOTES RIGHT OF WAY LINE       |
|    | DENOTES SANITARY SEWER CLEANOUT |
|    | DENOTES SANITARY SEWER MANHOLE  |
|    | DENOTES FORCE MAIN MANHOLE      |
|    | DENOTES F.P.L. ELECTRIC MANHOLE |
|    | DENOTES F.P.L. TRANSFORMER PAD  |
|    | DENOTES CATCH BASIN             |
|   | DENOTES EXISTING TREE           |
|  | DENOTES EXISTING PAVING         |
|  | DENOTES IRRIGATION VALVE        |
|  | DENOTES GUARD POST              |
|  | DENOTES STORM SEWER MANHOLE     |
|  | DENOTES SIGN POST               |
|  | DENOTES ALUMINUM POST           |

|           |       |                                       |
|-----------|-------|---------------------------------------|
| 6.30'     | →     | DENOTES PROPOSED ELEVATION            |
| ■         |       | DENOTES PROPOSED FRENCH DRAIN W/INLET |
| *3.0'     |       | DENOTES PROPOSED INVERT W/ BAFFLE     |
| 3.0'      |       | DENOTES PROPOSED INVERT ELEVATION     |
| →         |       | DENOTES PROPOSED SLOPE TIPS           |
| →         | ~~~~~ | DENOTES FLOW DIRECTION                |
| - · - · - |       | DENOTES PROPOSED RIDGE LINE           |
| →         | ↗     | DENOTES RAMP UP DIRECTION             |
| ■         |       | DENOTES PROPOSED SIGN                 |
| ▭         |       | DENOTES PROPOSED WHEEL STOP           |
| →         | ———   | DENOTES PROPOSED CENTERLINE           |
| MEG:      | →     | DENOTES MATCH EXISTING GRADE          |
| ●         |       | DENOTES PROPOSED DRAINAGE MANHOLE     |
| - · - · - |       | DENOTES PROPOSED SAWCUT LINE          |
| ▤         |       | DENOTES PROPOSED CONC. SIDEWALK       |
| ■         |       | DENOTES PROPOSED PAVING               |
| △         |       | DENOTES CROSS-SECTION NAME            |
| △         | ■     | DENOTES PROPOSED CROSS-SECTION        |
| △         |       | DENOTES SHEET NUMBER                  |



1. Remove the grate from the casting or concrete drainage structure.
2. Clean the ledge (lip) of the casting frame or drainage structure to ensure it is free of stone and dirt.
3. Drop in the FLEXSTORM Inlet Filter through the clear opening and be sure the suspension hangers rest firmly on the inside ledge (lip) of the casting.
4. Replace the grate and confirm it is elevated no more than 1/8", which is the thickness of the steel hangers.

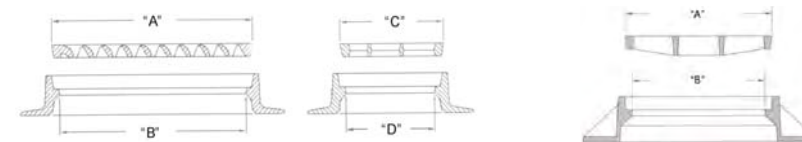
1. Construction site inspection should occur following each ½" or more rain event.
2. Post Construction inspections should occur three times per year (every four months) in areas with mild year round rainfall and four times per year (every three months Feb-Nov) in areas with summerrains before and after the winter snowfall season.
3. Industrial application site inspections (loading ramps, wash racks, maintenance facilities) should occur on a regularly scheduled basis no less than three times per year.

1. Empty the sediment bag if more than half filled with sediment and debris, or as directed by the Engineer.
2. Remove the grate, engage the lifting bars or handles with the FLEXSTORM Removal Tool, and lift from the drainage structure.
3. Dispose of the sediment or debris as directed by the Engineer or Maintenance Contract in accordance with EPA guidelines.
4. As an alternative, an industrial vacuum may be used to collect the accumulated sediment.
5. Remove any caked on silt from the sediment bag and reverse flush the bag with medium spray for optimal filtration.
6. Replace the bag if torn or punctured to 1/2" diameter or greater on the lower half of the bag.
7. Post Construction PC Bags maint: At 50% saturation, the average 2' x 2' Adsorb-it lined PC filter will retain approx 75 oz (4.2 lbs) of oil and should be serviced or replaced. It can be centrifuged or passed through a wringer to recover the oils, and the fabric reused with 85% to 90% efficacy. It may also be recycled for its fuel value through waste to energy incineration.
8. MyCelx Skimmer Pouches: The skimmers start yellow in color and will gradually turn brown as they become saturated, indicating time for replacement. Each MyCelx skimmer pouch will absorb approximately 89 oz (5 lbs) of oil before requiring replacement.
9. Dispose of all oil contaminated products in accordance with EPA guidelines.

1. Remove the bag by loosening or cutting off the clamping band.
2. Take the new sediment bag, which is equipped with a stainless steel worm drive clamping band, and use a screw driver to tighten the bag around the frame channel.
3. Ensure the bag is secure and that there is no slack around the perimeter of the band.

[illegible]

| STYLE  | FRAME STYLE AND SIZE   | Frame P/N: |
|--|--|------------|
| ROUND  | Small Round (up to 20.0" dia grates (A) dim)                                     | 62SRD      |
|  | Med Round (20.1" - 26.0" dia grates (A) up to 25" dia openings (B))              | 62MRD      |
|  | Large Round (26.1" - 32.0" dia grates (A) up to 30" openings (B))                | 62LRD      |
|  | XL Round (32.1" dia - 39" dia grates (A) up to 37" dia openings (B))             | 62XLRD     |
| RECT/<br>SQUARE  | Small Rect / Square (up to 16" (B) x 16" (D) openings or 64" perimeter)          | 62SSQ      |
|  | Med Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter)            | 62MSQ      |
|  | Large Rect / Square (up to 36" (B) x 24" (D) openings or 120" perimeter)         | 62LSQ      |
|  | XL Rect / Square (side by side 2 pc set to fit up to 48" (B) x 36" (D) openings) | 62XLSQ     |
| COMBO<br>INLETS  | Small Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)          | 62SCB      |
|  | Med Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)            | 62MCB      |
|  | Large Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)          | 62LCB      |
|  | XL Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)             | 62XLCB     |
| NYLOPLAST  | 12" diameter Nyloplast castings (Stainless Steel Framing standard)               | 6212NY     |
|  | 15" diameter Nyloplast castings (Stainless Steel Framing standard)               | 6215NY     |
|  | 18" diameter Nyloplast castings (Stainless Steel Framing standard)               | 6218NY     |
|  | 24" diameter Nyloplast castings (Stainless Steel Framing standard)               | 6224NY     |
|  | 30" diameter Nyloplast castings (Stainless Steel Framing standard)               | 6230NY     |
| WALL MOUNT   | Open Throat Gutters - Curb Opening Size  |            |
|  | Up to 4' (1 Filter and Mounting Hardware)  | 62WM1      |
|  | Between 4' and 8' (2 Filters and Mounting Hardware)                              | 62WM2      |
|  | Between 8' and 12' (3 Filters and Mounting Hardware)                             | 62WM3      |
|  | Between 12' and 16' (4 Filters and Mounting Hardware)                            | 62WM4      |
| UPGRADED FRAMING MATERIAL OPTIONS (STANDARD IS ZINC PLATED)    |  | SUFFIX     |
| CHROME PLATED FRAMING FOR HIGH SALT EXPOSURE                   |  | - CHR      |
| STAINLESS STEEL FRAMING FOR HIGH SALT AND/OR CHEMICAL EXPOSURE |  | - SS       |



| FLEXSTORM FILTER BAGS     | (22" depth)<br>STD Bag P/N | (12" depth)<br>Short Bag P/N | Clean Water Flow<br>Rate (GPM/SqFt) | Min A.O.S.<br>(US Sieve) |
|---------------------------|----------------------------|------------------------------|-------------------------------------|--------------------------|
| FX: Standard Woven Bag    | FX                         | FX-S                         | 200                                 | 40                       |
| FX+: Woven w/ MyCelx      | FXP                        | FXP-S                        | 200                                 | 40                       |
| FXO: Woven w/ Oil Boom    | FXO                        | FXO-S                        | 200                                 | 40                       |
| PC: Post Construction Bag | PC                         | PC-S                         | 137                                 | 140                      |
| PC+: PC Bag w/ MyCelx     | PCP                        | PCP-S                        | 137                                 | 140                      |
| LL: Litter and Leaf Bag   | LL                         | LL-S                         | High                                | 3.5                      |
| IL: IDOT Non-Woven Bag    | IL                         | IL-S                         | 145                                 | 70                       |

|                        |                             |   |                  |
|------------------------|-----------------------------|---|------------------|
| Frame P/N from Step 1. | Filter Bag P/N from Step 2. | - | Framing Material |
|------------------------|-----------------------------|---|------------------|

| Nominal Bag Size | Solids Storage (CuFt) | Filtered Flow Rate at 50% Max |                  |                | * PC Oil Retent (Oz) | **PCP Retent (Oz) |
|------------------|-----------------------|-------------------------------|------------------|----------------|----------------------|-------------------|
|                  |                       | FX (Woven)                    | PC (Post Constr) | IL (Non Woven) |                      |                   |
| Small            | 1.6                   | 1.2                           | 0.8              | 0.9            | 66                   | 155               |
| Medium           | 2.1                   | 1.8                           | 1.2              | 1.3            | 96                   | 185               |
| Large            | 3.8                   | 2.2                           | 1.5              | 1.6            | 120                  | 209               |
| XL               | 4.2                   | 3.6                           | 2.4              | 2.6            | 192                  | 370               |

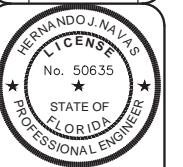
\* PC filter bag at 50% max adsorption capacity

\*\* PC filter bag at 50% capacity and MyCelx skimmer at 100% capacity

\* PC filter bag at 50% max adsorption capacity  
\*\* PC filter bag at 50% capacity and MyCelx skimmer at 100% capacity

**LAND SURVEYORS  
CIVIL ENGINEERS  
LAND PLANNERS**  
**LB#87 CA#87**

**3240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
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**BOB GRAHAM OFFICE BUILDING**  
EROSION AND SEDIMENT CONTROL  
DETAILS  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BI Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 FB. Sketches &  
00000 Pg.00

Drawing Status: PERMIT

by: Hernando J. Navas  
P.E., Principal  
Registered Engineer No. 50635  
State of Florida

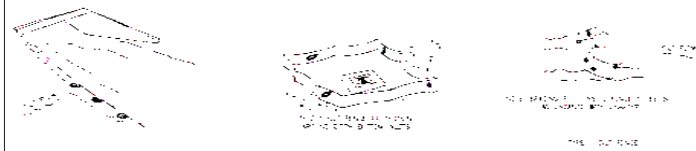
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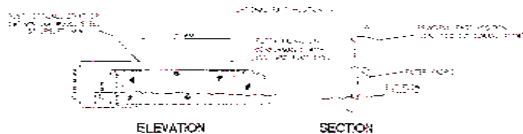
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OF: C-21

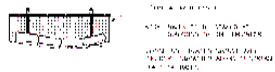
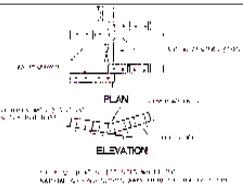


#### SILT FENCE APPLICATIONS

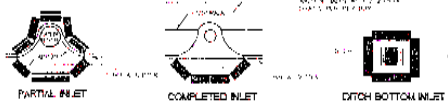


#### TYPE II SILT FENCE

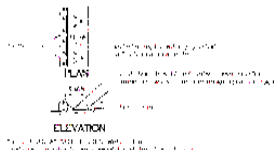
NOTATION: TAKEN FROM THE NATIONAL DEPARTMENT OF TRANSPORTATION STATE DESIGN MANUAL



#### BALES BACKED BY FENCE

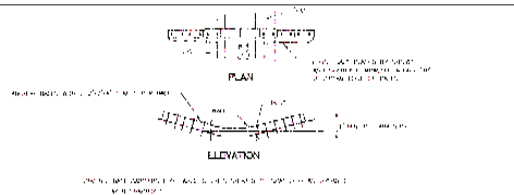


#### PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

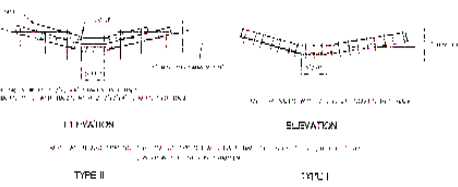
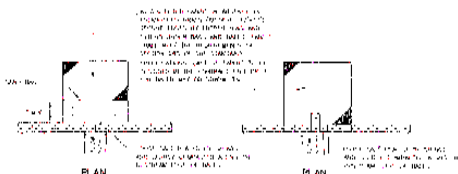


#### WALL MOUNT INLET FILTER

NOTATION: TAKEN FROM THE NATIONAL DEPARTMENT OF TRANSPORTATION STATE DESIGN MANUAL



#### BARrier FOR PAVED DITCHES



#### BARrier FOR UNPAVED DITCHES

NOTATION: TAKEN FROM THE NATIONAL DEPARTMENT OF TRANSPORTATION STATE DESIGN MANUAL

#### GENERAL NOTES

##### Construction Specifications:

##### Materials

1. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0\_ F to 120\_ F (-17C to 49C).
2. Burlap shall be 10 ounces per square yard (340 g/m2) fabric.
3. Posts for silt fences shall be either 4 inch (10 cm) diameter wood, or 1.33 pounds per linear foot (2 kg/m) steel with a minimum length of 5 feet (1.5 m). Steel posts shall have projections for fastening wire to them.
4. Stakes for filter barriers shall be 1" x 2" (2.5 x 5 cm) wood (preferred), or equivalent metal with a minimum length of 3 feet (90 cm).
5. Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 36 inches (90 cm) in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches (15 cm).

##### Sheet Flow Application:

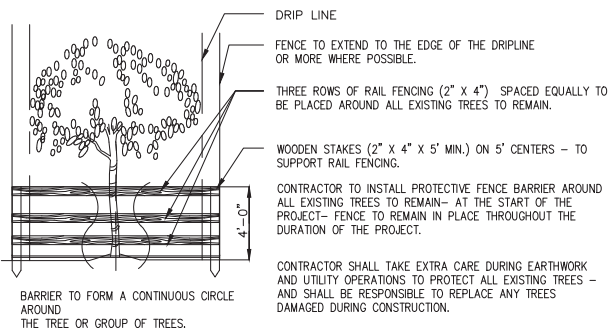
##### Silt Fence

This sediment barrier uses standard strength or extra strength synthetic filter fabrics. It is designed for situations in which only sheet or overland flows are expected. (See Plate 4.06d)

1. The height of a silt fence shall not exceed 36 inches (90 cm). Higher fences may impound volumes of water sufficient to cause failure of the structure. 2. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced as described in item No. 8 below.
3. Posts shall be spaced a maximum of 10 feet (3 m) apart at the barrier location and driven securely into the ground a minimum of 12 inches (30 cm). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet (1.8 m).
4. A trench shall be excavated approximately 4 inches (10 cm) wide and 4 inches (10 cm) deep along the line of posts and upslope from the barrier.
5. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1 inch (25 mm) long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2 inches (5 cm) and shall not extend more than 36 inches (90 cm) above the original ground surface.
6. The standard strength filter fabric shall be stapled or wired to the fence, and 8 inches (20 cm) of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches (90 cm) above the original ground surface.
7. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of item No. 6 applying.
8. When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap. (See Plate 4.06g)
9. The trench shall be backfilled and the soil compacted over the filter fabric.
10. The most effective application consists of a double row of silt fences spaced a minimum of three feet apart. The three foot separation is so that if the first row collapses it will not fall on the second row. Wire or synthetic mesh is may be used to reinforce the first row. (See Plate 4.06c)
11. When used to control sediments from a steep slope, silt fences should be placed away from the toe of the slope for increased holding capacity. (See Plate 4.06f)
12. Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

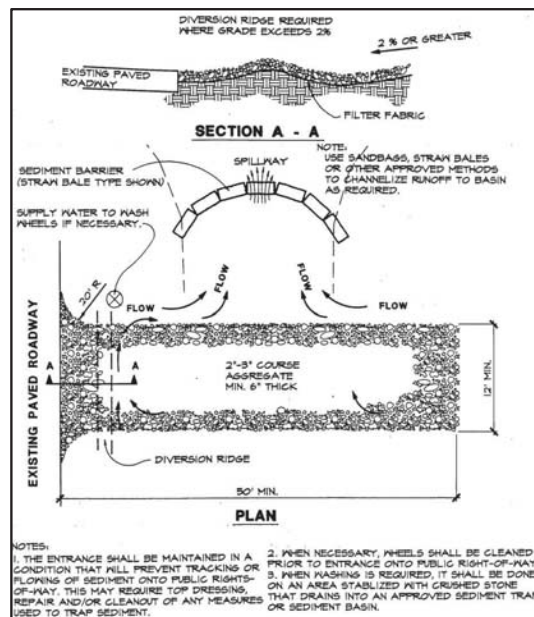
##### Maintenance

1. Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
2. Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.
3. Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
4. Wind SCREEN BEHIND SILT FENCES must be kept orderly at all times
5. Construction entrances must be kept in working condition
6. Protect all existing trees during construction
7. Maintain all BMP's at existing inlets until the completion of construction.



#### TREE PROTECTION DETAIL

N.T.S.



##### Prefabricated Drop Inlet Internal Filter Bag

1. Remove the grate over the catch basin and insert the filter device, then replace the grate to hold the device in position.
2. When sediments have accumulated to within 1 foot (30 cm) of the grate, the filter insert must be removed by a front-end loader or forklift. The filter may be discarded and replaced, or it may be emptied, cleaned, and reused.
3. Contractor shall install and maintain an internal filter bag, or equivalent, on all existing and proposed catch basins throughout the duration of construction.

##### Washing

If conditions on the site are such that most of the mud is not removed by the vehicles traveling over the stone, then the vehicle tires must be washed before entering a public road. Wash water must be carried away from the entrance to a settling area to remove sediment (see Figure 4.3b of the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual). A wash rack may also be used to make washing more convenient and effective (see Figure 4.3c of the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual).

##### Location

The entrance should be located to provide for maximum utility by all construction vehicles.

##### Construction Specifications

The entrance area should be cleared of all vegetation, roots, and other objectionable material. A geotextile should be laid down to improve stability and simplify maintenance when gravel is used. The gravel shall then be placed over the geotextile to the specified dimensions.

##### Maintenance

The stabilized construction exit shall be maintained in a condition that will prevent the tracking or flow of mud onto public rights of way. This may require periodic maintenance as conditions demand, and the repair and/or cleanup of any structures used to trap sediments. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately. Look for signs of trucks and trailer equipment "cutting corners" where the construction exit meets the roadway. Sweep the paved road as needed.

### FLEXSTORM INLET FILTERS

#### PRODUCT SELECTION AND SPECIFICATION DRAWING

STAINLESS STEEL ROUND INLET FILTERS FOR NYLOPLAST CASTINGS CATCH-TITS SPECIFIED W/ FX or FX-S BAGS

COMBINATION INLET FILTER FOR CURB HOODS

TYPICAL RECTANGULAR INLET FILTER

TYPICAL ROUND INLET FILTER

WALL MOUNT INLET FILTERS FOR OPEN THROAT GUTTERS

#### 1. IDENTIFY YOUR FRAME STYLE, SIZE, AND MATERIAL

| STYLE  | FRAME STYLE AND SIZE   | Frame P/N |
|--|--|-----------|
| ROUND  | Small Round (up to 20.0" dia grates (A) dim)                                     | G2SRD     |
|  | Med Round (20.1" - 26.0" dia grates (A) up to 25" dia openings (B))              | G2MRD     |
|  | Large Round (26.1" - 32.0" dia grates (B) up to 30" openings (B))                | G2LRD     |
|  | XL Round (32.1" dia - 36" dia grates (A) up to 37" dia openings (B))             | G2XLRD    |
| RECT / SQUARE  | Small Rect / Square (up to 16" (B) x 16" (D) openings or 64" perimeter)          | G2SRSQ    |
|  | Med Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter)            | G2MSQ     |
|  | Large Rect / Square (up to 36" (B) x 24" (D) openings or 120" perimeter)         | G2LSQ     |
|  | XL Rect / Square (side by side 2 pc set to fit up to 48" (B) x 36" (D) openings) | G2XLSQ    |
| COMBO INLETS   | Small Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)          | G2SCB     |
|  | Med Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)            | G2MCS     |
|  | Large Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)          | G2LCS     |
|  | XL Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)             | G2XCS     |
| NYLOPLAST  | 12" diameter Nyloplast castings (Stainless Steel Framing standard)               | G212NY    |
|  | 15" diameter Nyloplast castings (Stainless Steel Framing standard)               | G215NY    |
|  | 18" diameter Nyloplast castings (Stainless Steel Framing standard)               | G218NY    |
|  | 24" diameter Nyloplast castings (Stainless Steel Framing standard)               | G224NY    |
| WALL MOUNT   | 30" diameter Nyloplast castings (Stainless Steel Framing standard)               | G230NY    |
|  | Open Throat Gutters - Curb Opening Size  |           |
|  | Up to 4" (1 Filter and Mounting Hardware)  | G2WM1     |
|  | Between 4" and 8" (2 Filters and Mounting Hardware)                              | G2WM2     |
| UPGRADED FRAMING MATERIAL OPTIONS (STANDARD IS ZINC PLATED)    |  |           |
|  | CHROME PLATED FRAMING FOR HIGH SALT EXPOSURE                                     | -CHR      |
| STAINLESS STEEL FRAMING FOR HIGH SALT AND/OR CHEMICAL EXPOSURE | -SS  |           |

#### 2. SELECT YOUR FILTER BAG PART NUMBER

| FLEXSTORM FILTER BAGS     | (22" Depth) STD Bag P/N | (12" Depth) Short Bag P/N | Clean Water Flow Rate (GPM/SqFt) | Min A.O.S. (US Sieve) |
|---------------------------|-------------------------|---------------------------|----------------------------------|-----------------------|
| FX: Standard Woven Bag    | FX                      | FX-S                      | 200                              | 40                    |
| FX-S: Woven w/ MyCelx     | FXP                     | FXP-S                     | 200                              | 40                    |
| FXD: Woven w/ Oil Boom    | FXD                     | FXD-S                     | 200                              | 40                    |
| PC: Post Construction Bag | PC                      | PC-S                      | 137                              | 140                   |
| PC-S: PC Bag w/ MyCelx    | PCP                     | PCP-S                     | 137                              | 140                   |
| LL: Litter and Leaf Bag   | LL                      | LL-S                      | High                             | 3.5                   |
| LL-100T Non-Woven Bag     | LL                      | LL-S                      | 145                              | 70                    |

#### 3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER

Frame P/N from Step 1:  Filter Bag P/N from Step 2:  Framing Material:

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. DISTRIBUTED BY ADS WWW.INLETFILTERS.COM (866) 287-8655 PH (630) 355-3477 FX INFO@INLETFILTERS.COM

DATE:  SCALE:  SHEET 1 OF 1

#### FLEX STORM INLET FILTER DETAIL

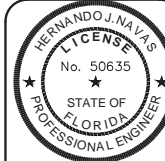
**Schwabke Shiskin & Associates, Inc.**

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LAND PLANNERS  
LB#87 CA#87

3240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

#### REVISIONS

| Date | Remarks | By |
|------|---------|----|
|      |         |    |
|      |         |    |
|      |         |    |
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**BOB GRAHAM OFFICE BUILDING**  
EROSION AND SEDIMENT CONTROL DETAILS  
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: BJ Date: 07/05/16

Checked By: HJN Date: 11/07/16

Order No. 205748 FB Sketches & 00000 Pg. 20

Drawing Status: PERMIT

By: **Hernando J. Navas**  
P.E., Principal

Registered Engineer No. 50635  
State of Florida

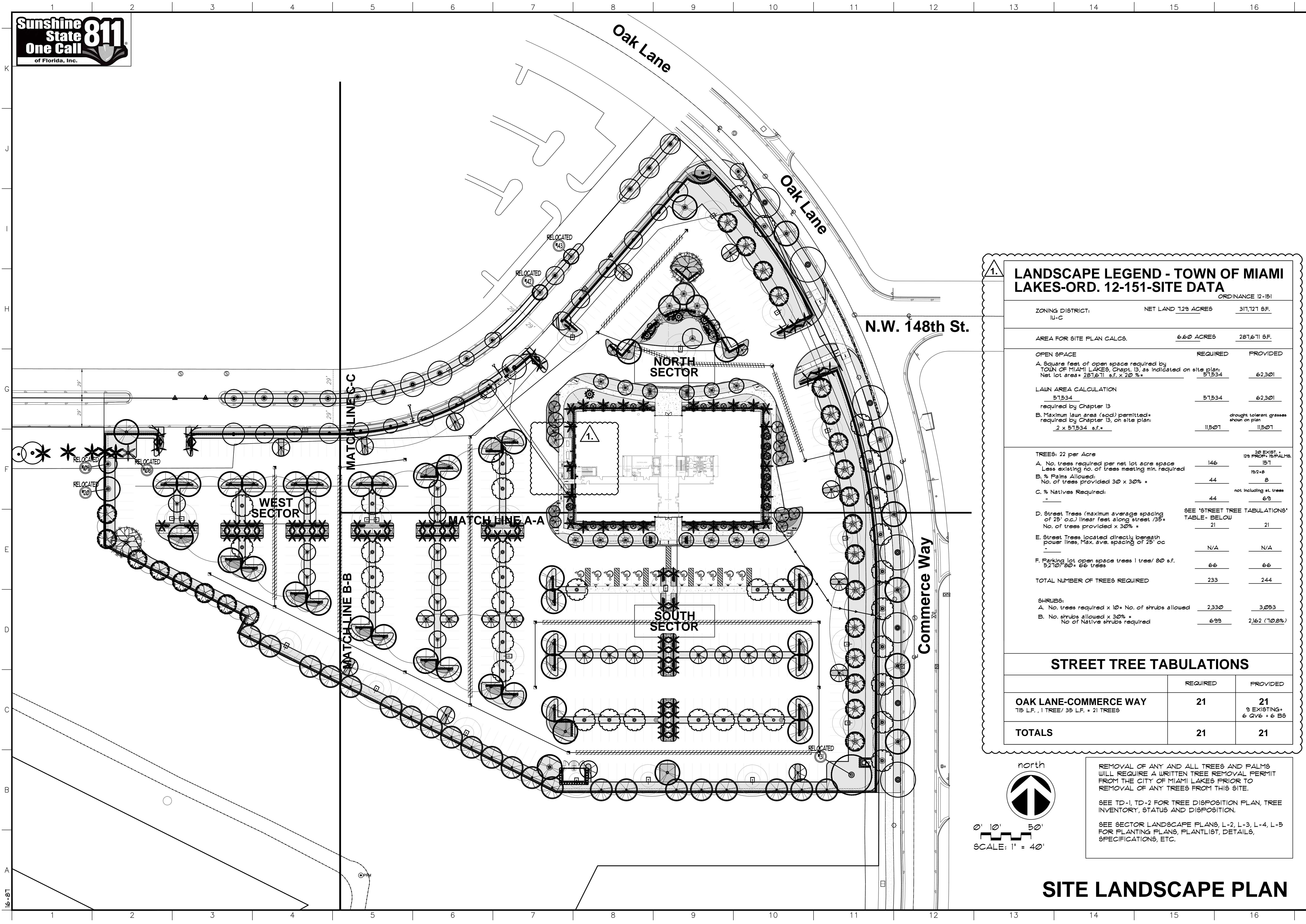
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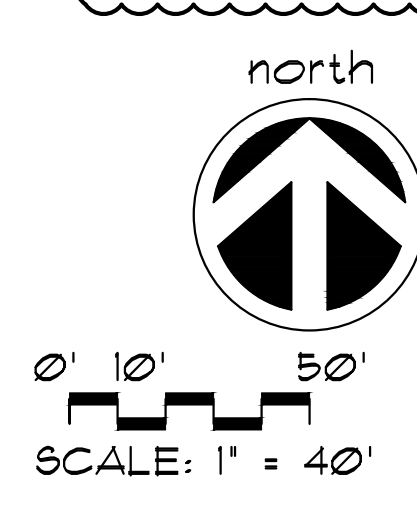
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**ESC-3**

OF: C-21



| LANDSCAPE LEGEND - TOWN OF MIAMI LAKES-ORD. 12-151-SITE DATA  |                     |                                    |
|---|---------------------|------------------------------------|
| ORDINANCE 12-151  |                     |                                    |
| ZONING DISTRICT:  | NET LAND 7.29 ACRES | 317,121 SF.                        |
| AREA FOR SITE PLAN CALCS. 6.60 ACRES 287,671 SF.  |                     |                                    |
| OPEN SPACE  | REQUIRED            | PROVIDED                           |
| A. Square feet of open space required by TOWN OF MIAMI LAKES, Chapt. 13, as indicated on site plan:<br>Net lot area = 287,671 s.f. x 20 % = | 57,534              | 62,301                             |
| LAWN AREA CALCULATION   |                     |                                    |
| 57,534<br>required by Chapter 13  | 57,534              | 62,301                             |
| B. Maximum lawn area (sod) permitted = required by Chapter 13, on site plan:<br>2 x 57,534 s.f. =   | 115,071             | 115,071                            |
| drought tolerant grasses shown on plan  |                     |                                    |
| TREES: 22 per Acre  |                     | 129 EXIST. + 20 PROP. 15/PALMS     |
| A. No. trees required per net lot acre space  | 146                 | 157                                |
| Less existing no. of trees meeting min. required  |                     | 19/2+8                             |
| B. % Palms Allowed:<br>No. of trees provided 30 x 30% =   | 44                  | 8                                  |
| C. % Natives Required:  | 44                  | 69                                 |
| not including st. trees   |                     |                                    |
| D. Street Trees (maximum average spacing of 25' o.c.) linear feet along street /35'<br>No. of trees provided x 30% =                        | 21                  | 21                                 |
| SEE "STREET TREE TABULATIONS" TABLE- BELOW  |                     |                                    |
| E. Street Trees located directly beneath power lines, Max. ave. spacing of 25' oc   | N/A                 | N/A                                |
| F. Parking lot open space trees 1 tree/ 80 s.f.<br>5,710/80 = 66 trees  | 66                  | 66                                 |
| TOTAL NUMBER OF TREES REQUIRED  | 233                 | 244                                |
| SHRUBS:   |                     |                                    |
| A. No. trees required x 10 = No. of shrubs allowed  | 2,330               | 3,053                              |
| B. No. shrubs allowed x 30% =<br>No of Native shrubs required   | 699                 | 2,162 (70.8%)                      |
| STREET TREE TABULATIONS   |                     |                                    |
|   | REQUIRED            | PROVIDED                           |
| OAK LANE-COMMERCE WAY<br>115 L.F. , 1 TREE/ 35 L.F. = 21 TREES  | 21                  | 21<br>9 EXISTING +<br>6 QVE + 6 BS |
| TOTALS  | 21                  | 21                                 |



REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE CITY OF MIAMI LAKES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE TD-1, TD-2 FOR TREE DISPOSITION PLAN, TREE INVENTORY, STATUS AND DISPOSITION.

SEE SECTOR LANDSCAPE PLANS, L-2, L-3, L-4, L-5 FOR PLANTING PLANS, PLANTLIST, DETAILS, SPECIFICATIONS, ETC.

SITE LANDSCAPE PLAN

RLC Architects

14 SE 4th Street, Boca Raton, FL 33432  
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Web: www.rlcarchitects.com

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JAMES F. SOCCASH  
RLA # 0001132

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LANDSCAPE ARCHITECTURE  
www.jfsdesignfl.com  
P.O. BOX 10000  
MIAMI, FL 33101  
Tel: 781.441.8888 Fax: 781.441.8888 jenny@jfsdesignfl.com

BOB GRAHAM  
OFFICE BUILDING

14800 OAK LANE-COMMERCE WAY  
MIAMI LAKES, FL. 33016

REVISIONS

1. 11/17/16 Revised per City Staff Review

Drawing Title

Scale

Project No.

Date

Principal:

Project Director:

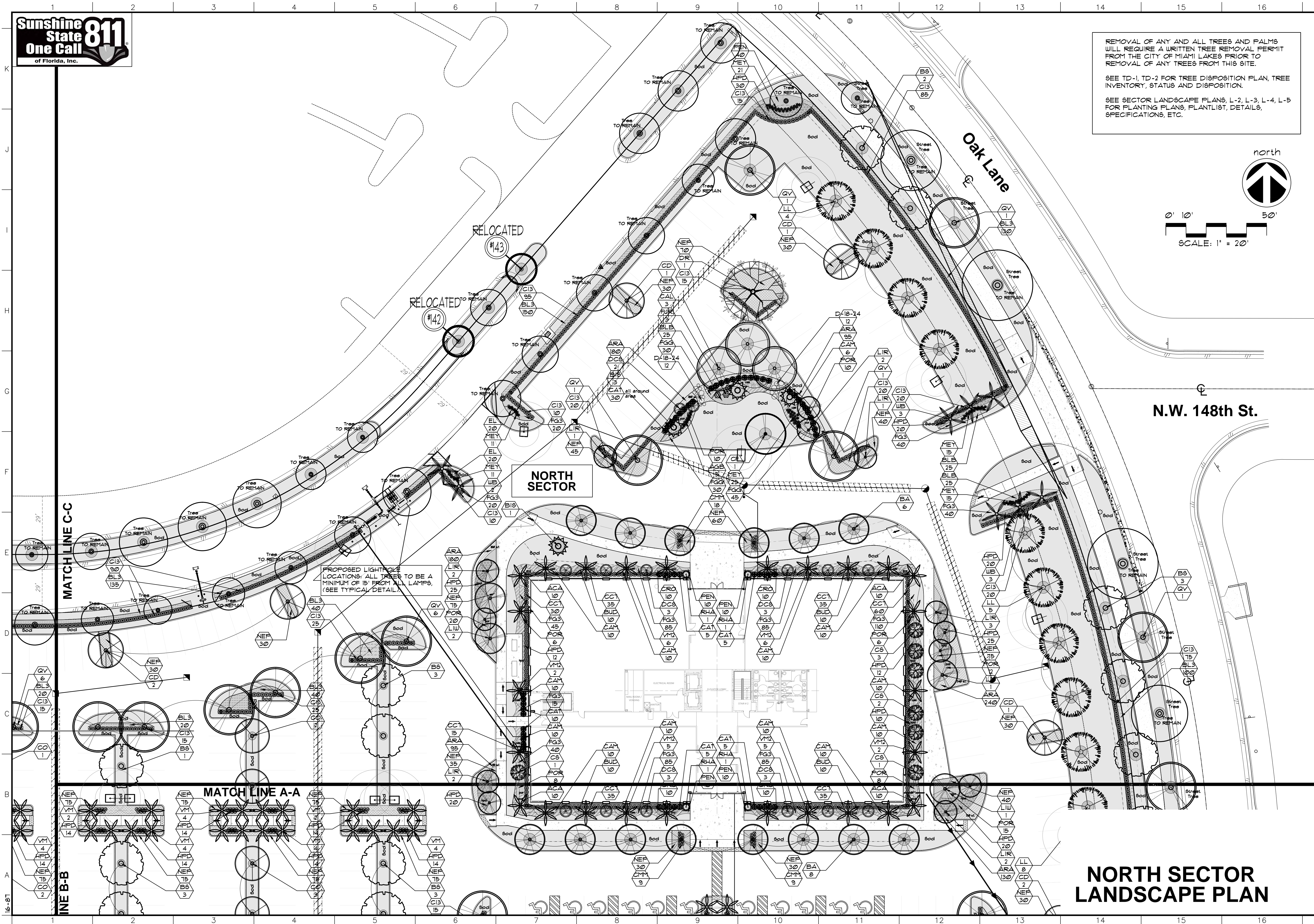
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Drafted by:

Checked by:

Sheet No.

L-1



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SEE TD-1, TD-2 FOR TREE DISPOSITION PLAN, TREE  
INVENTORY, STATUS AND DISPOSITION.

SEE SECTOR LANDSCAPE PLANS, L-2, L-3, L-4, L-5  
FOR PLANTING PLANS, PLANTLIST, DETAILS,  
SPECIFICATIONS, ETC.



0' 10' 50'  
SCALE: 1" = 20'

RLC Architects  
14 SE 4th Street, Boca Raton, FL 33432  
Tel: 561 353 6555 Fax: 561 356 0007  
Web: www.rlcarchitects.com

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Web: www.jfsdesign.com

**BOB GRAHAM  
OFFICE BUILDING**  
**14800 OAK LANE-COMMERCE WAY**  
**MIAMI LAKES, FL. 33016**

| REVISIONS | Revised per City Staff Review |
|-----------|-------------------------------|
| 1.        | 11/17/16                      |

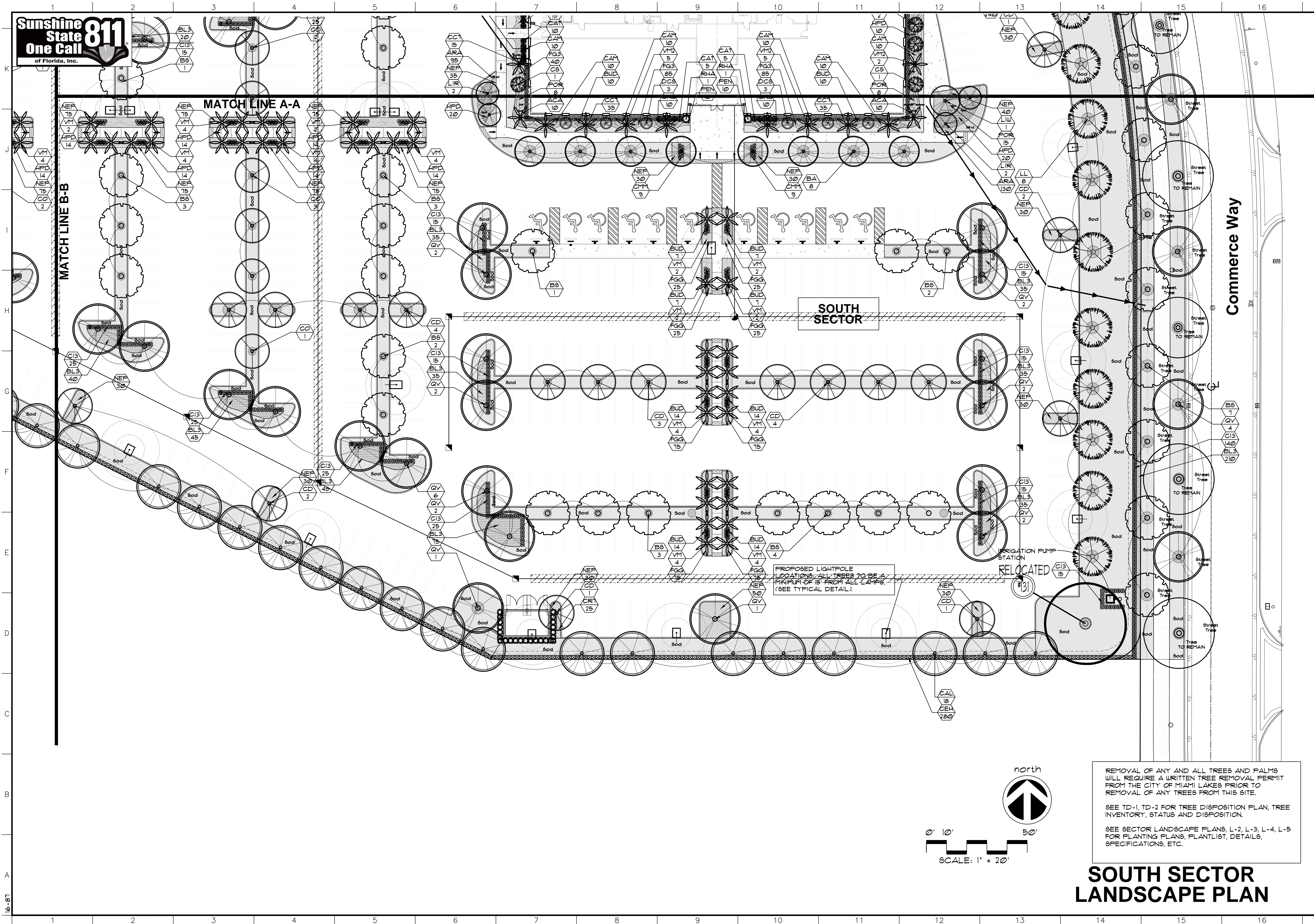
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Project No.  
Date

Principal:  
Project Director:  
Project Manager:  
Drafted by:  
Checked by:

Sheet No.  
**L-2**

**NORTH SECTOR  
LANDSCAPE PLAN**



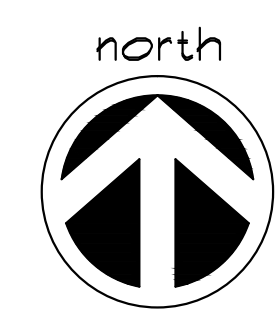
Sunshine  
State  
One Call  
of Florida, Inc.

MATCH LINE A-A

MATCH LINE B-B

SOUTH  
SECTOR

Commerce Way



0' 10' 50'  
SCALE: 1" = 20'

REMOVAL OF ANY AND ALL TREES AND PALMS  
WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT  
FROM THE CITY OF MIAMI LAKES PRIOR TO  
REMOVAL OF ANY TREES FROM THIS SITE.

SEE TD-1, TD-2 FOR TREE DISPOSITION PLAN, TREE  
INVENTORY, STATUS AND DISPOSITION.

SEE SECTOR LANDSCAPE PLANS, L-2, L-3, L-4, L-5  
FOR PLANTING PLANS, PLANTLIST, DETAILS,  
SPECIFICATIONS, ETC.

# SOUTH SECTOR LANDSCAPE PLAN

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10000 SW 12th Ave, Suite 100, Boca Raton, FL 33432  
Tel: 561 441-4100 Fax: 561 441-4101  
www.jfsdesign.com jenny@jfsdesign.com

**BOB GRAHAM  
OFFICE BUILDING**  
**14800 OAK LANE-COMMERCE WAY**  
**MIAMI LAKES, FL. 33016**

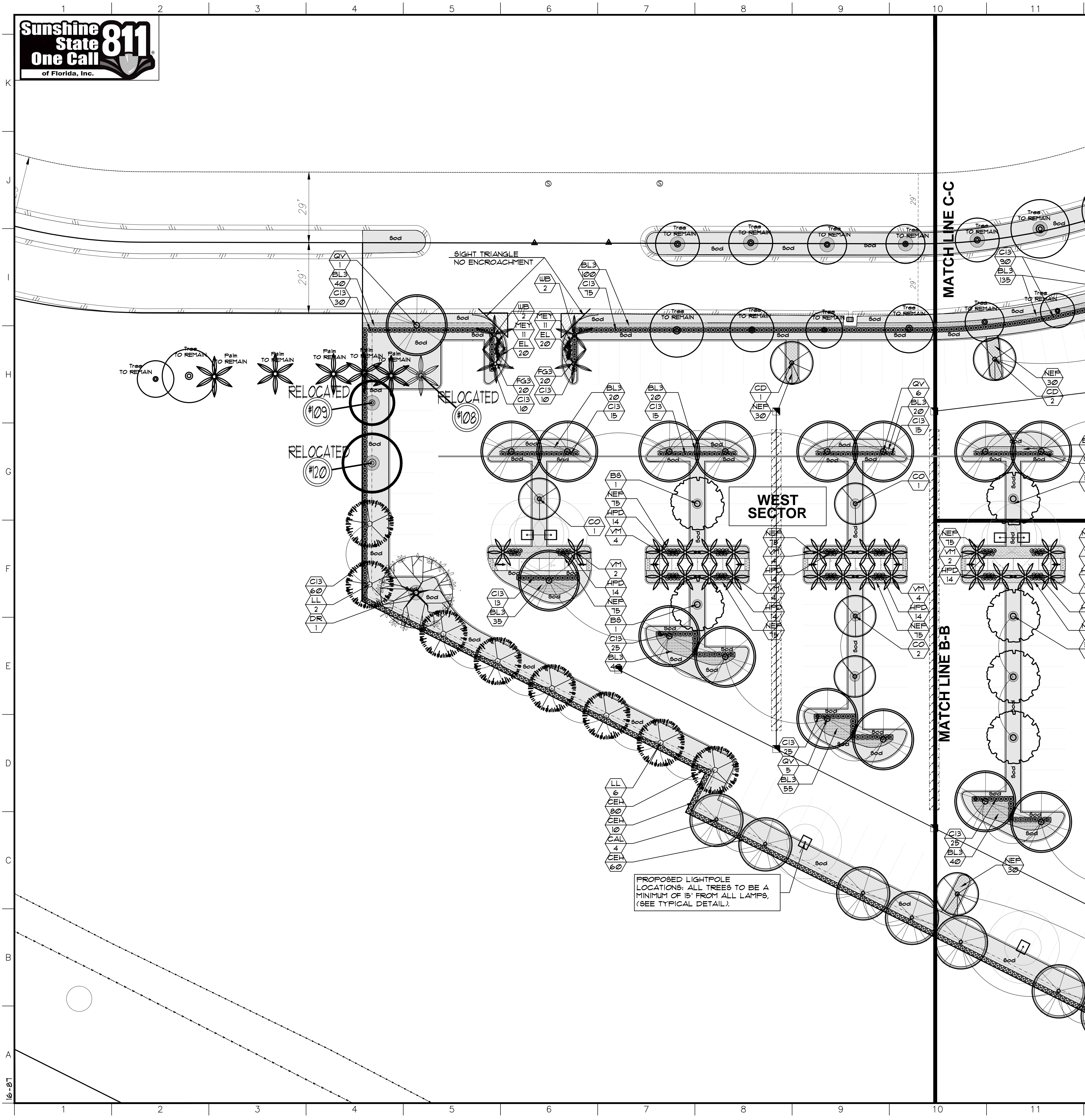
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1. 11/07/16 Revised per City Staff Review  
Comments.

Drawing Title

Scale  
Project No.  
Date

Principal:  
Project Director:  
Project Manager:  
Drafted by:  
Checked by:

Sheet No.  
**L-3**



PLANTLIST

| SYM.                                  | NATIVE | *  | NAME                 | BOTANICAL NAME                 | SPECIFICATION                    |
|---------------------------------------|--------|----|----------------------|--------------------------------|----------------------------------|
| EXISTING TREES TO REMAIN- ON SITE     |        |    |                      |                                |                                  |
| SEE TREE DISPOSITION PLAN, SHEET TD-1 |        |    |                      |                                |                                  |
| PROPOSED TREES                        |        |    |                      |                                |                                  |
| BA                                    | 14     |    | YELLOW VERAWOOD      | Bulnesia arborea               | 12' x 6" apr. 2 1/2" cal.        |
| BS                                    | YES    | 26 | GUMBO LIMBO          | Bursera simaruba               | 12' x 6" apr. 2 1/2" cal.        |
| CAL                                   |        | 25 | BRAZIL BEAUTYLEAF    | Calophyllum brasiliense        | 10' x 5" apr. 2" cal.            |
| CF                                    |        | 1  | GOLDEN SHOWER        | Caesia fistula                 | 12' x 6" apr. 2 1/2" cal.        |
| CO                                    | YES    | 10 | SATINLEAF            | Chrysophyllum oliviforme       | 12' x 6" apr. 2 1/2" cal.        |
| CD                                    | YES    | 23 | PIGEON PLUM          | Coccoloba diversifolia         | 12' x 6" apr. 2 1/2" cal.        |
| CS                                    | YES    | 6  | ORANGE GEIGER        | Cordia sebestena               | FG, 10' x 5', 2" cal.            |
| DR                                    |        | 2  | POINCIANA            | Delonix regia                  | 12' x 6" apr. 2 1/2" cal.        |
| LIR                                   |        | 13 | CRAPE MYRTLE 'RED'   | Lagerstroemia indica           | 10' x 6', max. 5 tks. @ o.a. ht. |
| LIW                                   |        | 4  | CRAPE MYRTLE 'WHITE' | Lagerstroemia indica 'Natchez' | 10' x 6', max. 5 tks. @ o.a. ht. |
| LL                                    | YES    | 25 | WILD TAMARIND        | Lyalloma latifolia             | 12' x 6" apr. 2 1/2" cal.        |
| QV                                    | YES    | 41 | LIVE OAKS            | Quercus virginiana             | 12' x 6" apr. 2 1/2" cal.        |

|       |  |    |                  |                            |                                 |
|-------|--|----|------------------|----------------------------|---------------------------------|
| PALMS |  |    |                  |                            |                                 |
| BIS   |  | 4  | BISMARCK PALMS   | Bismarkia nobilis 'Silver' | 8' x 8', full head, specimen    |
| VM    |  | 62 | MONTGOMERY PALMS | Veitchia montgomeryana     | SGL. TK, FG, 12' o.a., full hd. |
| VM2   |  | 26 | MONTGOMERY PALMS | Veitchia montgomeryana     | DBL. TK, FG, 12' o.a., full hd. |
| WB    |  | 12 | FOXTAIL PALMS    | Wodyetia bifurcata         | 12' o.a., 5" @ dbh, full hd     |

|        |     |     |                      |                          |                                   |
|--------|-----|-----|----------------------|--------------------------|-----------------------------------|
| SHRUBS |     |     |                      |                          |                                   |
| ACA    |     | 40  | COPPER LEAF ACALYPHA | Acalypha sp.             | 3 gal., 24" x 24", 24" o.c., full |
| CAM    | YES | 126 | BEAUTYBERRY          | Callicarpa americana     | 3 gal., 18" x 18", 24" o.c., full |
| CC1    | YES | 245 | JAMAICA CAPER        | Capparis cynophallophora | 7 gal., 30" x 24", 24" o.c., full |
| CAT    |     | 60  | CAT PALMS            | Chamaedorea cataractarum | 1 gal., 30" x 24", 30" o.c.       |
| C13    | YES | 388 | COCOPALM             | Chrysalobalanus icaco    | 3 GAL., 24" x 24" full, 24" o.c.  |
| CRT    | YES | 25  | SMALL-LEAVED CLUSIA  | Clusia guttifera         | 7 GAL., 36" ht., 30" @C, FTB.     |
| CHM    |     | 36  | CROTON 'MAMMY'       | Codiaeum variegatum      | 3 gal., 18" x 18", 18" o.c., full |
| CRO    |     | 40  | CROTON 'PETRA'       | Codiaeum variegatum      | 3 gal., 18" x 18", 18" o.c., full |
| CEH    | YES | 430 | GREEN BUTTWOOD       | Conocarpus erectus       | 3 gal., 24" x 24", 24" o.c., full |
| FG3    |     | 715 | 'GREEN ISLAND' FICUS | Ficus 'Green Island'     | 3 gal., 18" x 18", 18" o.c., full |
| HPD    | YES | 348 | DWARF FIREBUSH       | Hamelia nodosa           | 3 gal., 18" x 18", 18" o.c.       |


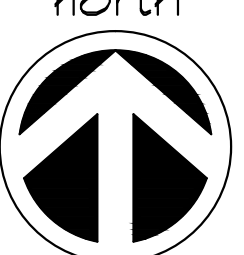
|                                |     |          |                        |                            |                                   |
|--------------------------------|-----|----------|------------------------|----------------------------|-----------------------------------|
| ACCENT PLANTS AND GROUNDCOVERS |     |          |                        |                            |                                   |
| AGB                            |     | 5        | BLUE AGAVE             | Agave tequilana            | 1 gal., 18" x 18",                |
| BUD                            | YES | 124      | BUTTERFLY BUSH         | Buddleia officinalis       | 3 gal., 18" x 18", 18" o.c. full  |
| ARA                            |     | 920 s.f. | PERENNIAL PEANUT       | Arachis glabrata 'EcoTurf' | SOLID SOD, price per s.f.         |
| MEY                            |     | 124      | FOXTAIL FERN           | Asparagus densi. 'Myers'   | 3 gal., 14" x 12" full            |
| BLB                            | YES | 75       | BULBINE-DESERT CANDLES | Bulbine frutescens         | 1 gal., 12" x 8", full, 12" o.c.  |
| BL3                            |     | 1,535    | BLUEBERRY FLAX LILY    | Dianella tasmanica         | 3 gal., 12" x 18", 18" o.c., full |
| EL                             | YES | 80       | GOLDEN CREEPER         | Ernodea littoralis         | 1 gal., 12" x 8", full, 12" o.c.  |
| FUR                            |     | 3        | GIANT FALSE AGAVE      | Furcraea foetida           | 15 gal., 4' x 4', full specimen   |
| NEP                            | YES | 1,735    | BOSTON FERN            | Nephrolepis exaltata       | 1 gal., 12" x 12" full, 15" o.c.  |
| PEN                            |     | 80       | EGYPTIAN STAR CLUSTER  | Pentas lanceolata          | 1 gal., 10" x 10", 14" o.c., full |
| RHA                            |     | 4        | LADY PALMS             | Rhapis excelsa             | 5" o.a., FTG, sun acclimated      |
| DCB                            |     | 14       | DESERT CASSIA          | Senna polyphylla           | 6'-8' x 5" apr. 2" cal.           |
| FOR                            | YES | 95       | BLUE PORTERUEED        | Stachytarpheta jamaicensis | 1 gal., 12" x 12" full            |
| RGG                            | YES | 505      | FLORIDA GAMA GRASS     | Tripsacum floridana        | 1 gal., 12" x 12", 18" o.c., full |

|     |        |      |                          |                         |                           |
|-----|--------|------|--------------------------|-------------------------|---------------------------|
| SOD |        |      |                          |                         |                           |
| FLO | 45,000 | S.F. | 'FLORATAM' ST. AUGUSTINE | Stenotaphrum secundatum | SOLID SOD, price per s.f. |

|          |     |      |  |   |  |
|----------|-----|------|--|---|--|
| TOPSOIL: |     |      |  |   |  |
|          |     |      | TOPSOIL:SAND MIX   | 50:50 TOPSOIL:SAND MIX, 8"SPREAD IN PLACE |  |
|          | 125 | C.Y. | TREES, PALMS, SHRUBS AND GROUNDCOVERS                          |   |  |
|          | 250 | C.Y. | AREA TO BE SODDED WITH A 2" DEPTH OF TOPSOIL 8"SPREAD IN PLACE |   |  |

|           |     |        |  |   |  |
|-----------|-----|--------|--|---|--|
| MULCHING: |     |        |  |   |  |
|           | 200 | C.Y./- | 'MINI-NUGGETS' PINE BARK   | 3" DEPTH, 8"SPREAD IN PLACE, ATLAS PEAT AND SOIL  |  |
|           |     |        |  | PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION |  |
|           | --- |        | TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR        |   |  |
|           |     |        | TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS |   |  |
|           |     |        | UPON FINAL INSPECTION AND APPROVAL.  |   |  |

|                     |  |    |                        |  |  |
|---------------------|--|----|------------------------|--|--|
| LANDSCAPE MATERIALS |  |    |                        |  |  |
| D18                 |  | 12 | STEPPING STONES-ROUNDS | 18" DIA, 8"IM. KEYSTONE, on 2" sand leveling course, level |  |
| D24                 |  | 12 | STEPPING STONES-ROUNDS | 24" DIA, 8"IM. KEYSTONE, on 2" sand leveling course, level |  |



SCALE: 1" = 20'

REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE CITY OF MIAMI LAKES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE TD-1, TD-2 FOR TREE DISPOSITION PLAN, TREE INVENTORY, STATUS AND DISPOSITION.

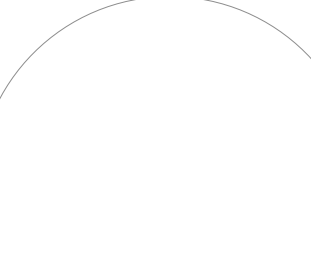
SEE SECTOR LANDSCAPE PLANS, L-2, L-3, L-4, L-5 FOR PLANTING PLANS, PLANTLIST, DETAILS, SPECIFICATIONS, ETC.

WEST SECTOR  
LANDSCAPE PLAN

RLC Architects

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Web: www.rlcarchitects.com

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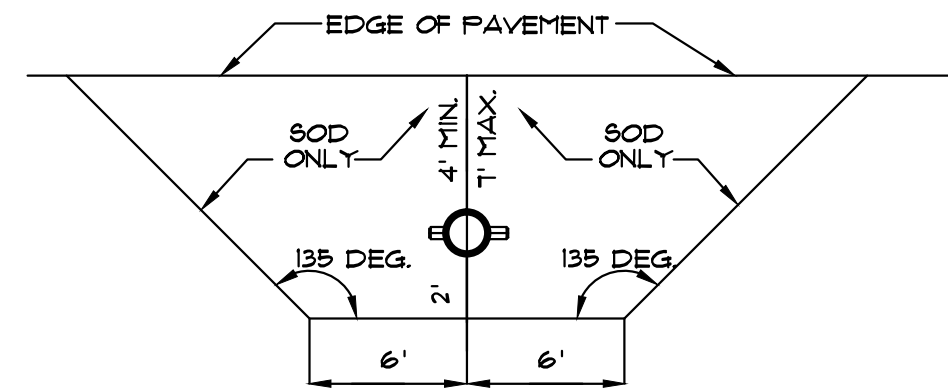
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|-----------|----|----------|-------------------------------|
| REVISIONS | 1. | 11/17/16 | Revised per City Staff Review |
|           |    |          | Comments:                     |

Drawing Title

Scale  
Project No.  
Date

Principal:  
Project Director:  
Project Manager:  
Drafted by:  
Checked by:

Sheet No.  
**L-4**



REQUIREMENTS APPLY TO FIRE HYDRANTS, SIAMSE CONNECTIONS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE, ON PUBLIC OR PRIVATE PROPERTY.  
BY THE AUTHORITY OF THE SOUTH FLORIDA FIRE PREVENTION CODE SECTION 52112

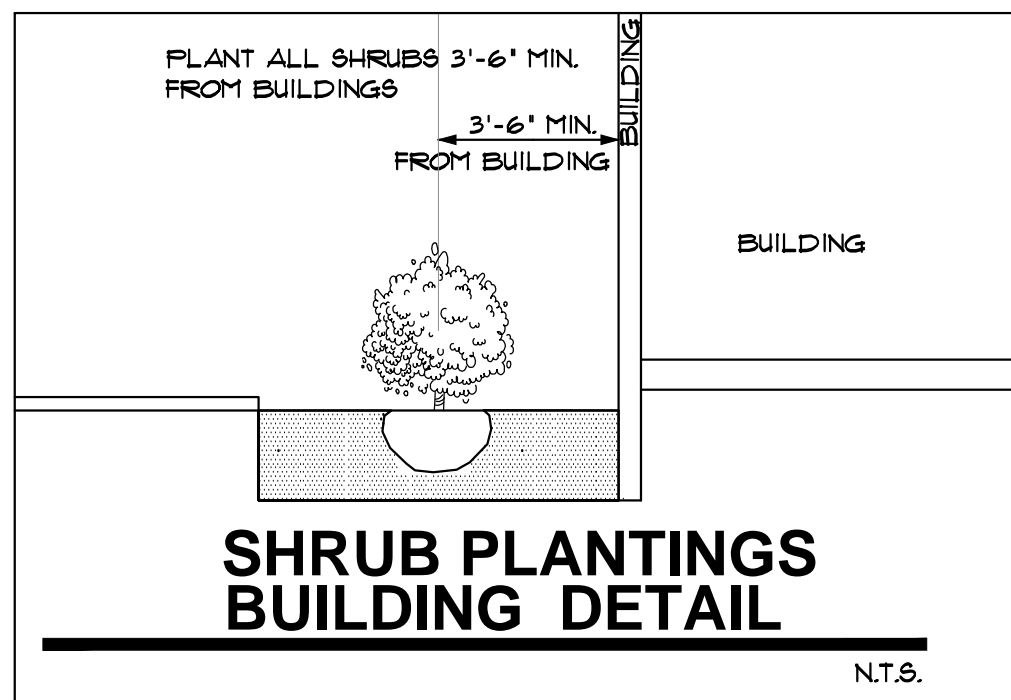
THIS DIAGRAM SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL.

THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOD), MAILBOXES, PARKING, LAMP-POSTS AND ALL OTHER OBJECTS.

EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT OR TRAFFIC POSTS TO PREVENT FIRE FIGHTING EQUIPMENT.

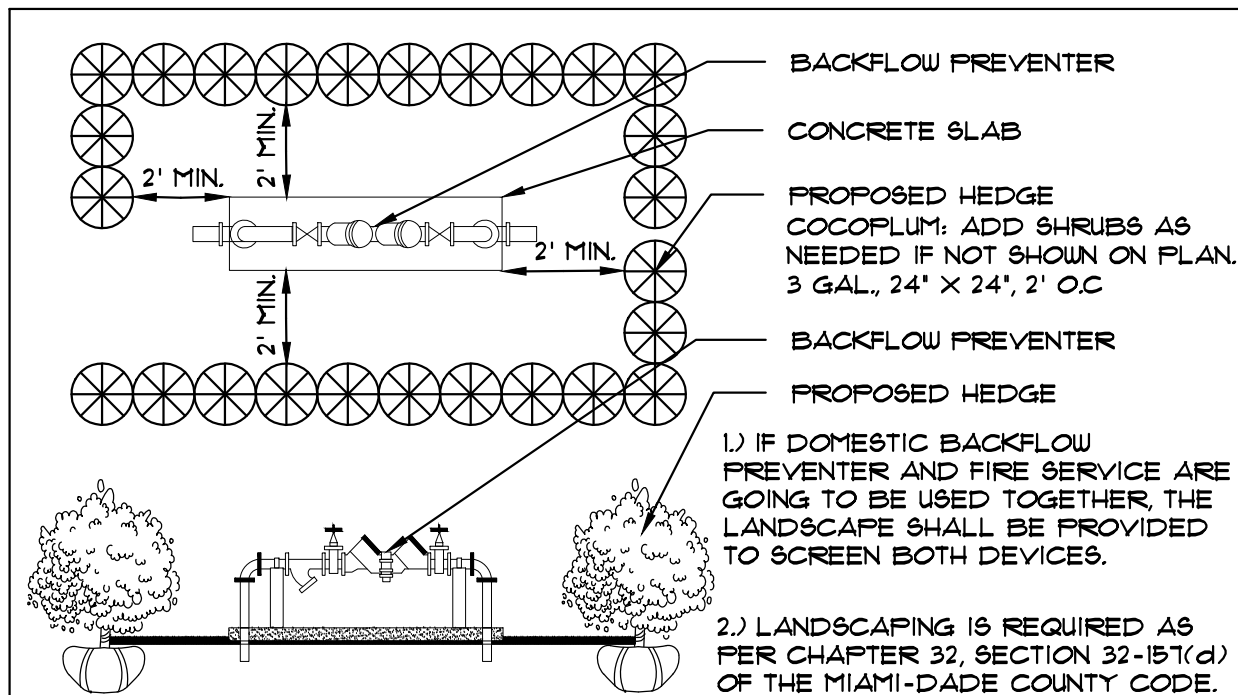
## FIRE HYDRANT CLEAR ZONE

N.T.S.



## SHRUB PLANTINGS BUILDING DETAIL

N.T.S.



## TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES

N.T.S.

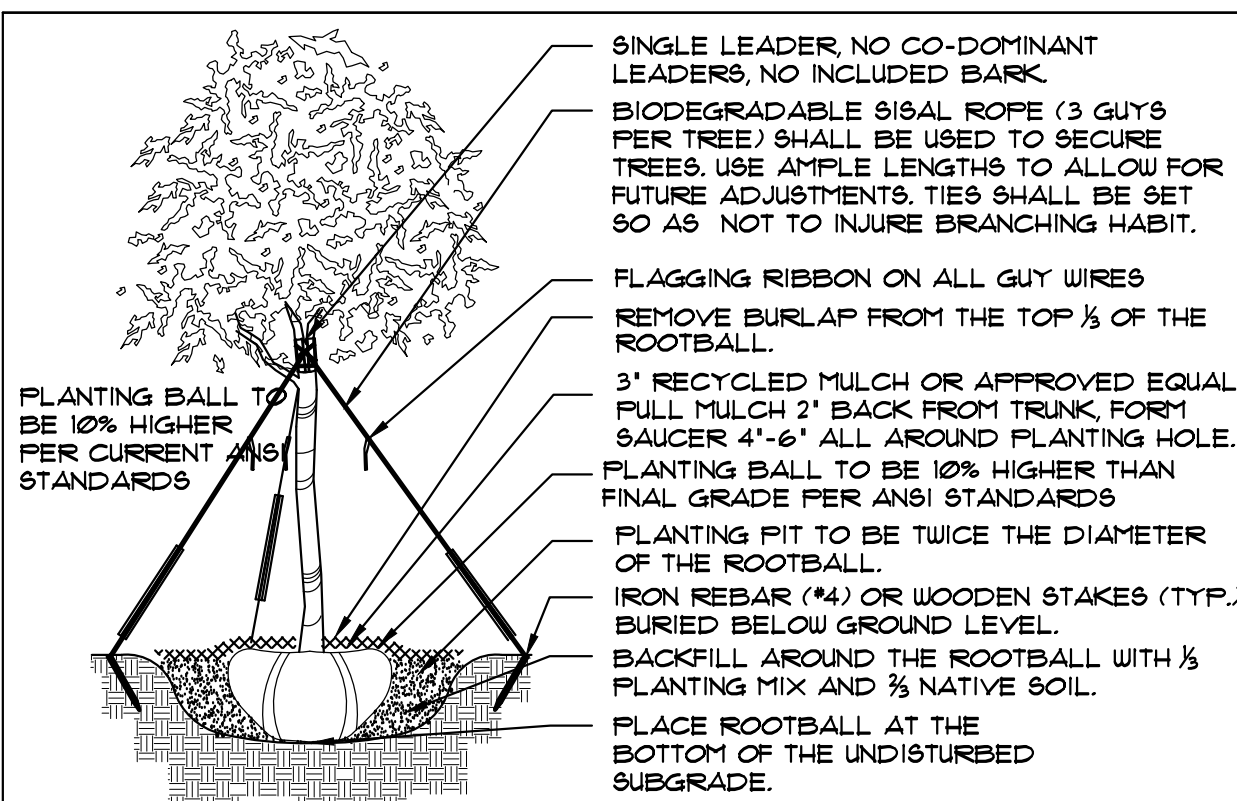
## PLANTING SOIL:

NOTE: ALL LANDSCAPED AREAS INCLUDING LANDSCAPE ISLANDS, SHALL BE EXCAVATED TO A DEPTH OF 2'0 FEET FOR REMOVAL OF ALL COMPACTED MATERIAL, LIMESTONE, ETC. AND BACKFILLED WITH A CLEAN, APPROVED BACKFILL. 50:50 TOPSOIL SHALL BE APPLIED TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND A 2' DEPTH FOR ALL SOD AREAS. THE CONTRACTOR SHALL CALCULATE AND PROVIDE A UNIT AND AN EXTENDED PRICE FOR THIS ITEM.

## FERTILIZATION:

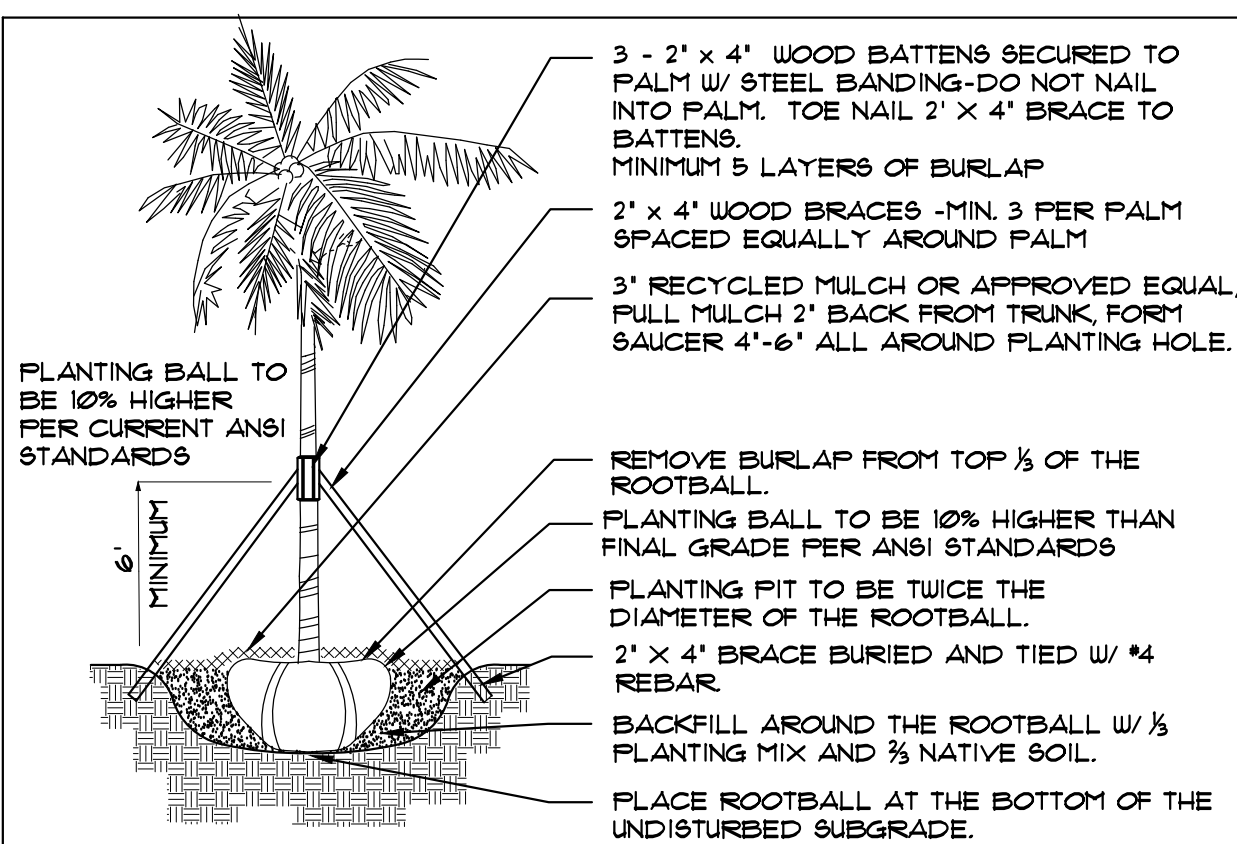
ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC - AFEC FERTILIZER & CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC \* 5231) RATE: 15 LBS/ INCH OF DIA. \* DBH PALMS: 12-04-12 (AFEC \* 1216) RATE: 15 LBS/ INCH OF DIA. \* DBH SHRUBS AND GROUNDCOVERS: (12-06-08 AFEC \* 5231) RATE: 15 OZ/ FT. OF HEIGHT



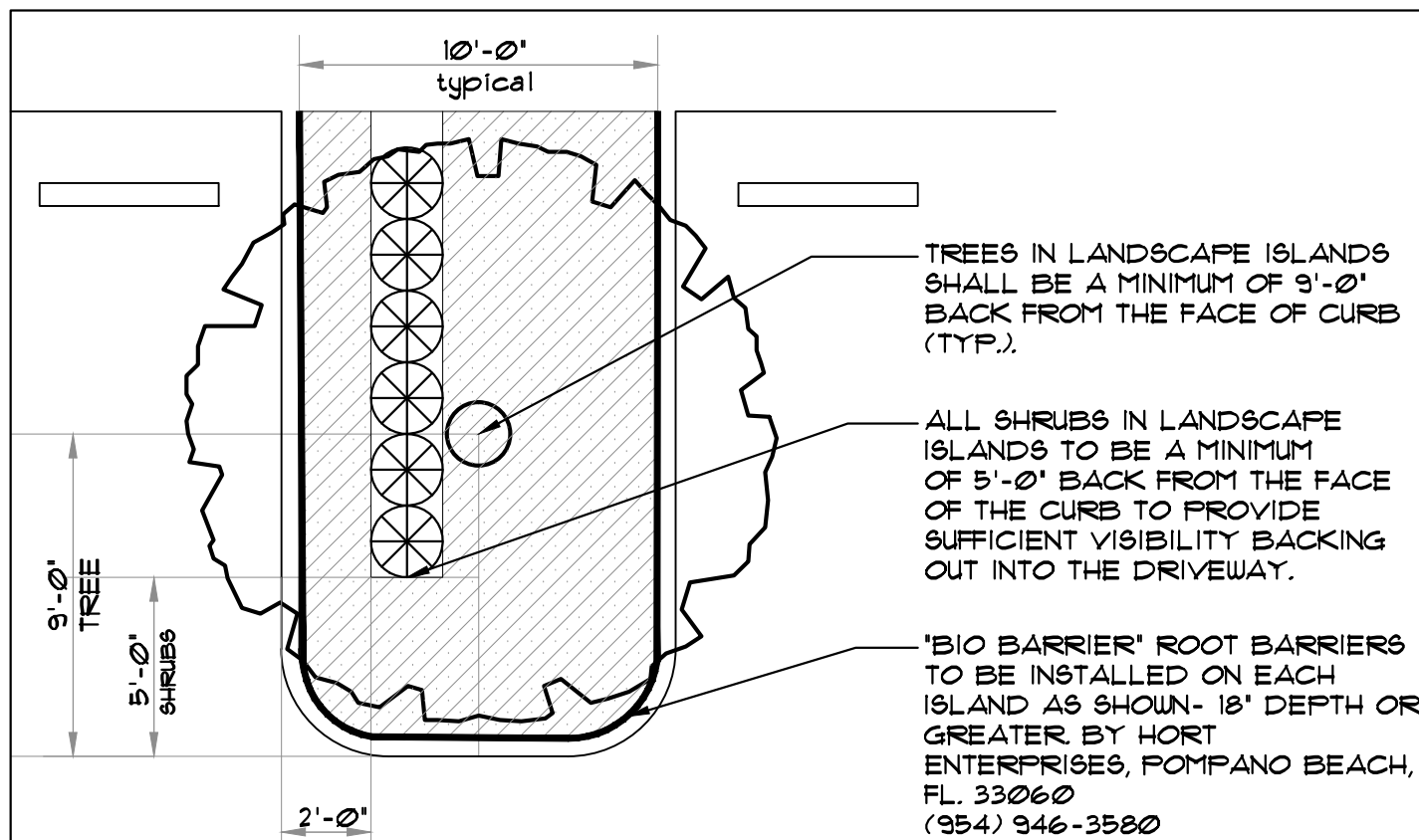
## TREE PLANTING DETAIL

N.T.S.



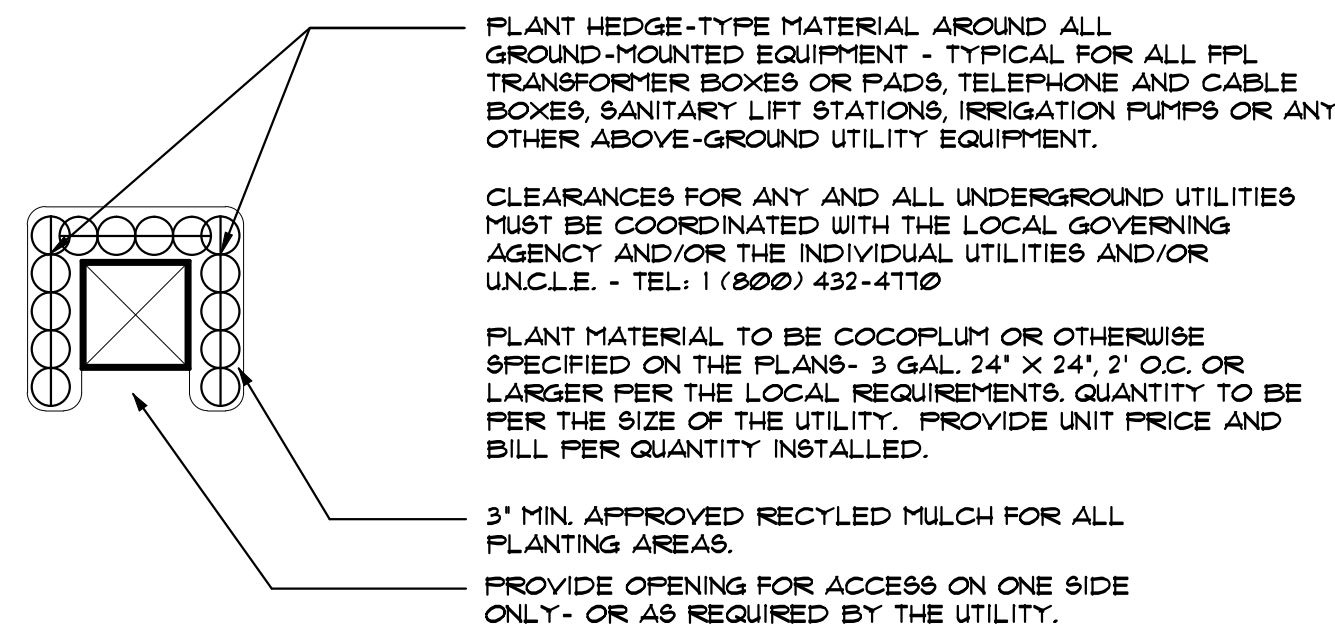
## PALM PLANTING DETAIL

N.T.S.



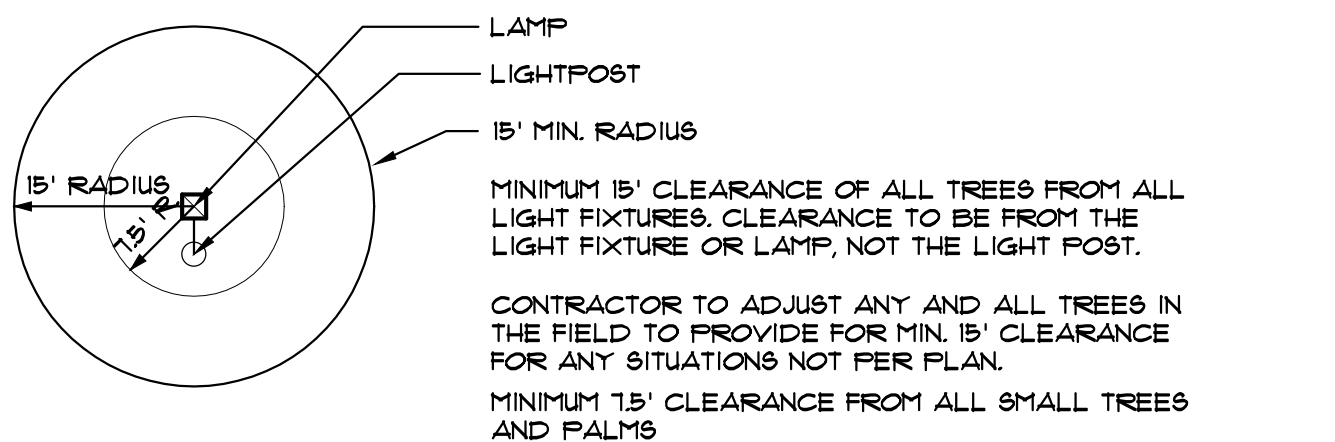
## TYPICAL LANDSCAPE ISLAND PLANTING STANDARDS

N.T.S.



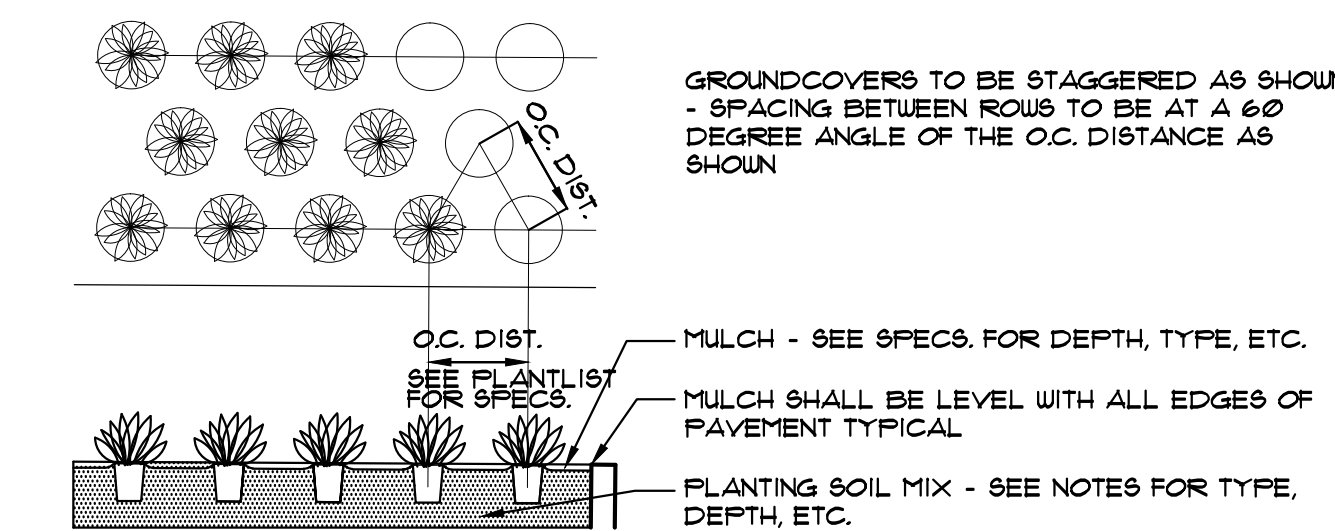
## TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT

N.T.S.



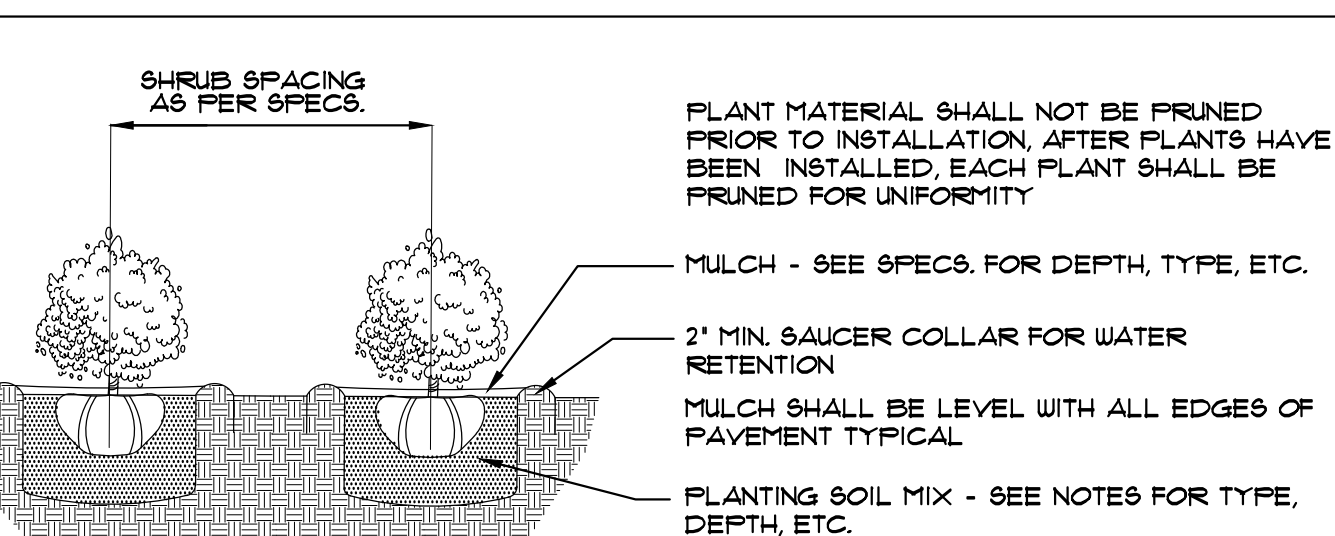
## MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES

N.T.S.



## GROUNDCOVER DETAIL

N.T.S.



## SHRUB PLANTING DETAIL

N.T.S.

## LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA NO.1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERRIS AND OTHER LANDSCAPE AREAS.

- SODDED-LAWN AREAS  
2' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.  
GROUNDCOVER PLANTING BEDS:  
6' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.  
SHRUB AND HEDGE PLANTING AREAS:  
12' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.  
TREES, PALMS, SPECIMEN PLANT MATERIAL:  
24' DEPTH PLANTING SOIL SPREAD IN PLACE OR TO THE DEPTH OF THE ROOTBALL OR CONTAINER WHICHEVER IS GREATEST.  
LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:  
EXCAVATE AND REMOVE ALL LIMESTONE, ROCKS, DEBRIS, ETC. TO A DEPTH OF 12' AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX.  
BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.

- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE AN ADDITION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.

- THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2' APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2' TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT.  
OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.

- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 'NO CUTS' AS REQUIRED BY LAW.

- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3' WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.

- SOD SHALL BE ARGENTINE 'BAHIA' OR ST. AUGUSTINE 'FLORATAM' AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.

- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FDOT. SOD SHALL CARRY A 5-MONTH WARRANTY.

- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

- ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS. BY THE FLORIDA NURSERY & LANDSCAPE ASSOCIATION (FNLA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.

- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP. AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX 'F' IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.

- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING-IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS 'TENAX' FENCING OR AS SHOWN ON THE PLANS. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.

- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.

- ALL EXISTING TREES AND PALMS SHALL BE 'LIFTED AND THINNED' TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.

- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN 'TREE REMOVAL PERMIT' FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.

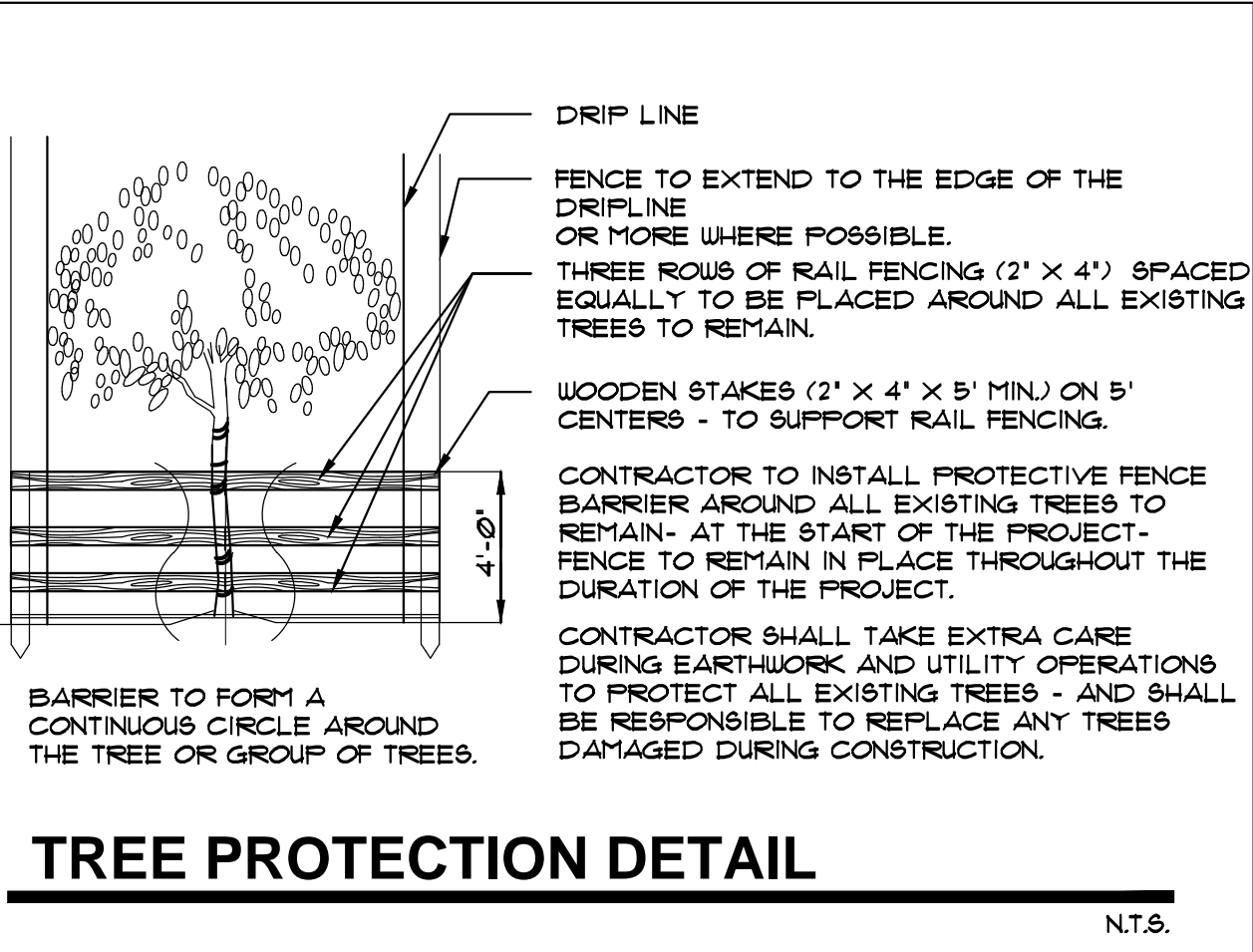
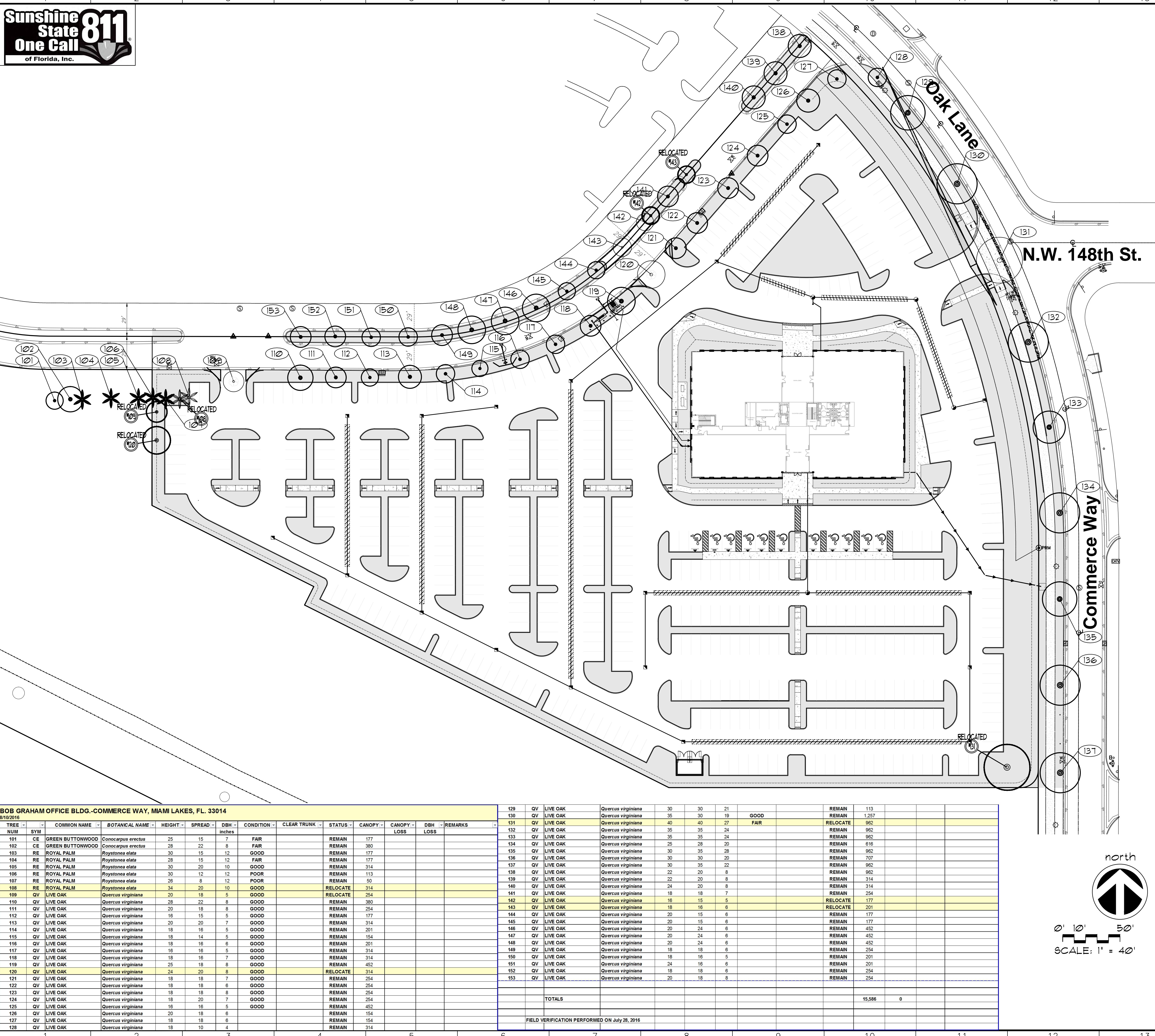
- ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SVALES, ETC. SHALL BE WATERED-IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.

REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE CITY OF MIAMI LAKES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE TD-1, TD-2 FOR TREE DISPOSITION PLAN, TREE INVENTORY, STATUS AND DISPOSITION.

SEE SECTOR LANDSCAPE PLANS, L-2, L-3, L-4, L-5 FOR PLANTING PLANS, PLANTLIST, DETAILS, SPECIFICATIONS, ETC.

## LANDSCAPE DETAILS, SPECIFICATIONS, ETC.



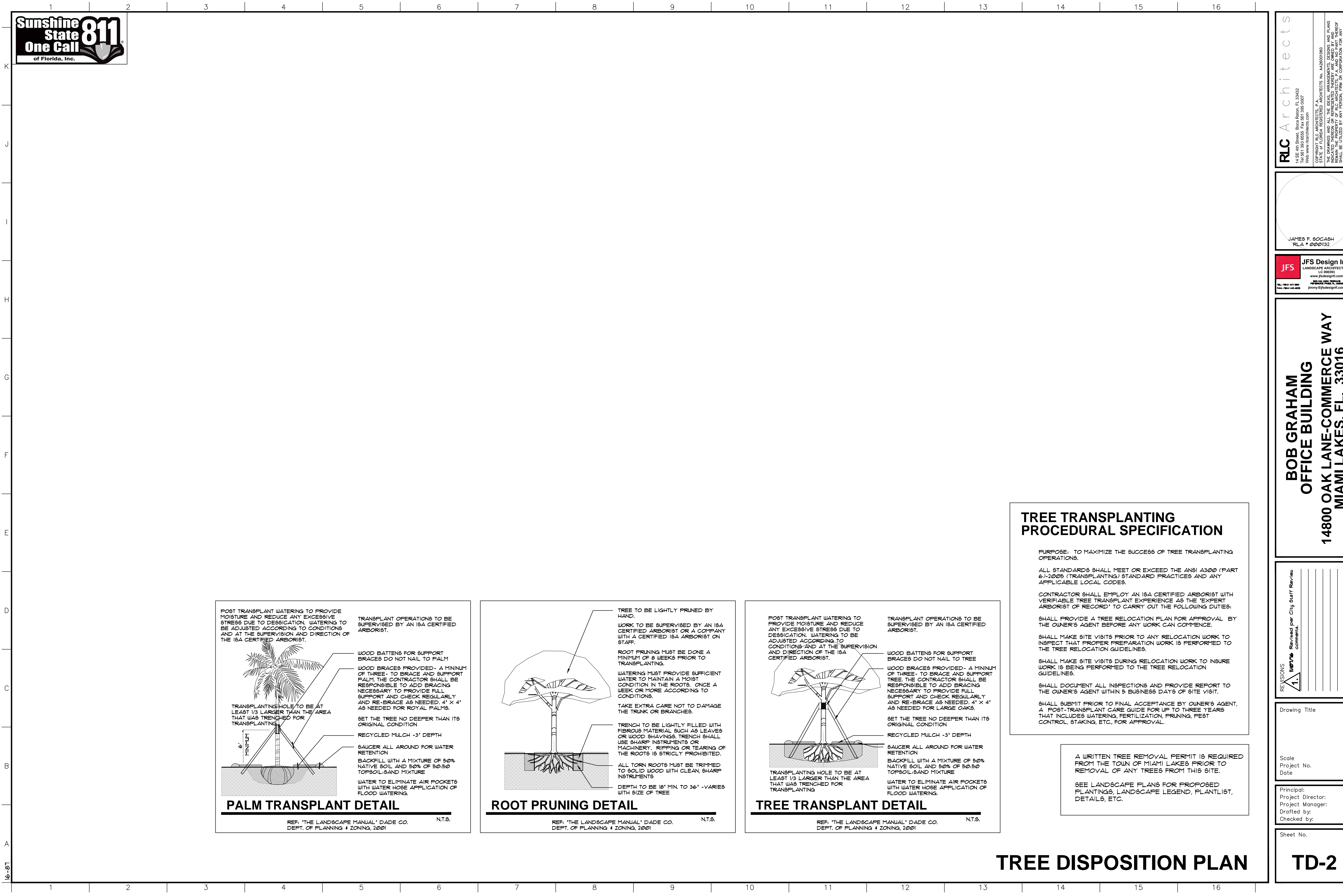
- NOTES:**
- SEE SHEET L-1 FOR PROPOSED TREE AND PALM LOCATIONS.
  - THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (TOWN OF MIAMI LAKES). TREE, PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
  - LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE. EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
  - ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY I, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.
  - ALL TREES AND PALMS TO BE RELOCATED SHALL BE ROOT PRUNED AND CANOPY PRUNED ACCORDING TO ALL ACCEPTED STANDARDS AS DEFINED BY THE NATIONAL ARBORIST ASSOCIATION, AND ALL PRE AND POST-TRANSPLANT OPERATIONS SHALL BE COORDINATED WITH UTMOST CARE TO MINIMIZE DAMAGE AND TRANSPLANT SHOCK. WATERING-IN AND WATERING SCHEDULES SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR REVIEW AND APPROVAL PRIOR TO RELOCATION.
  - ALL TREES AND PALMS TO BE RELOCATED SHALL BE STAKED AND BRACED TO INSURE STABILITY AND MINIMIZE ROOT DAMAGE DURING THE PLANT ROOT RECUPERATION PERIOD.
  - CONTRACTOR SHALL VERIFY WITH THE PROJECT SUPERINTENDENT THE PROPOSED LANDSCAPE AREAS PRIOR TO TREE AND PALM RELOCATION TO INSURE PROPER RELOCATION AND MINIMIZE ANY FIELD DISCREPANCIES WITH RESPECT TO PROPOSED PAVING, BUILDINGS, AMENITIES, ABOVE AND BELOW GROUND UTILITIES AND LIMITS OF PROPERTY.
  - CONTRACTOR SHALL ESTABLISH AN IRRIGATION SYSTEM TO PROVIDE FOR PRE AND POST-TRANSPLANT IRRIGATION SCHEDULING. TREE AND PALM FERTILIZATION SHALL BE ESTABLISHED CONCURRENTLY WITH IRRIGATION PRE AND POST-FERTILIZATION. THIS PROCEDURE SHALL BE CONDUCTED TO OPTIMIZE PLANT ESTABLISHMENT.
  - CONTRACTOR SHALL COORDINATE WITH THE PROJECT SUPERINTENDENT TO PLANT ALL RELOCATED TREES AND PALMS AT THE FINAL GRADE OF SITE.
  - SEE 'ROOT PRUNING DETAIL' AND 'TREE TRANSPLANT DETAIL' AS SHOWN ON THE PLANS.

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF MIAMI LAKES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE SHEET TD-2 FOR TREE INVENTORY, DISPOSITION, RELOCATION DETAILS, NOTES, SPECIFICATIONS, ETC.

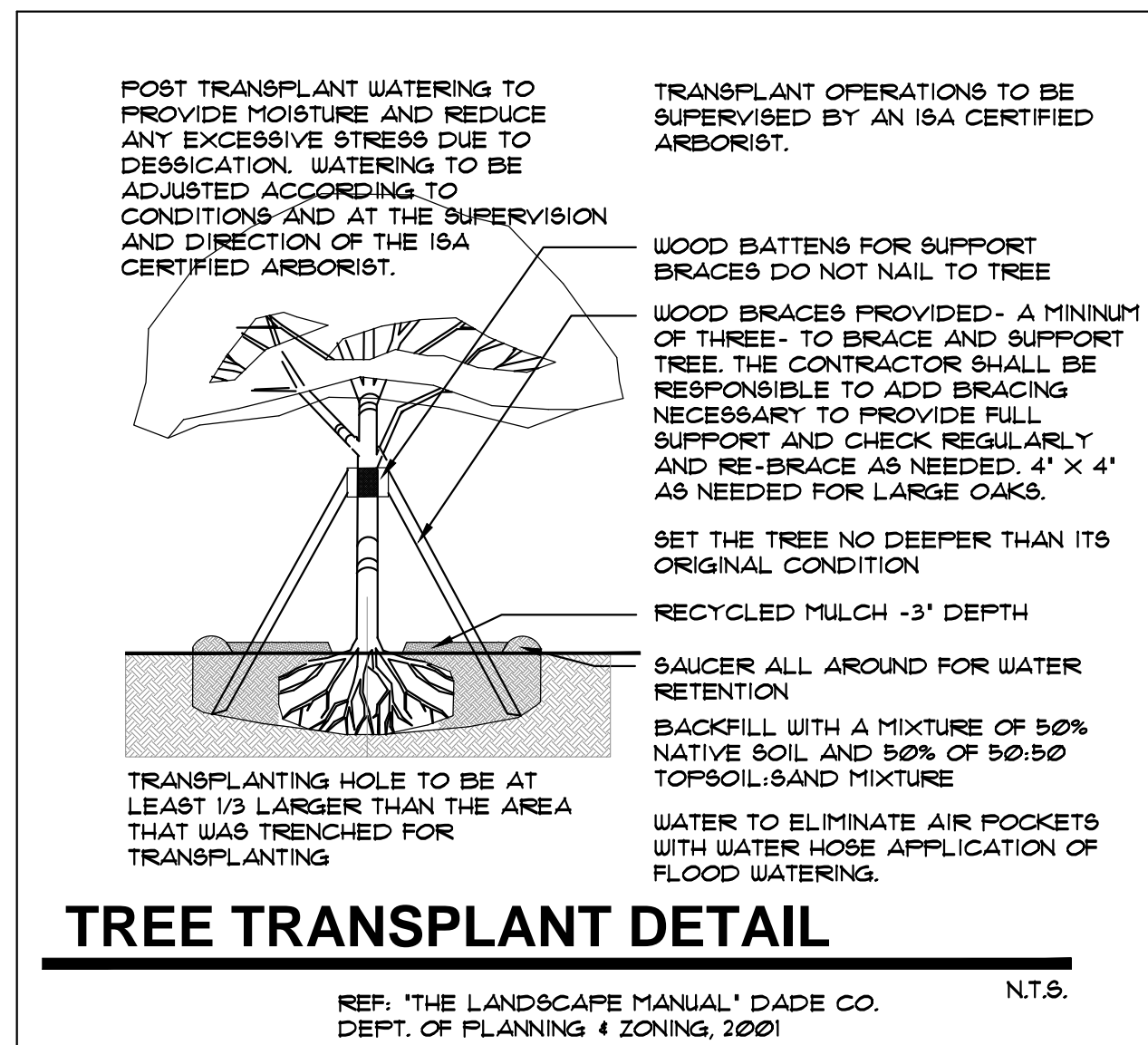
SEE LANDSCAPE PLANS FOR PROPOSED PLANTINGS, LANDSCAPE LEGEND, PLANTLIST, DETAILS, ETC.

| BOB GRAHAM OFFICE BLDG.-COMMERCE WAY, MIAMI LAKES, FL. 33014 |     |     |                |                    |        |        |        |           |             |          |        |        |     | 129     | QV  | LIVE OAK | Quercus virginiana | 30                 | 30 | 21 |      |      | REMAIN   | 113   |        |   |  |
|--|-----|-----|----------------|--------------------|--------|--------|--------|-----------|-------------|----------|--------|--------|-----|---------|---|----------|--------------------|--------------------|----|----|------|------|----------|-------|--------|---|--|
| 8/10/2016  |     |     |                |                    |        |        |        |           |             |          |        |        |     | 130     | QV  | LIVE OAK | Quercus virginiana | 35                 | 30 | 19 | GOOD |      | REMAIN   | 1,257 |        |   |  |
| TREE   | NUM | SYM | COMMON NAME    | BOTANICAL NAME     | HEIGHT | SPREAD | DBH    | CONDITION | CLEAR TRUNK | STATUS   | CANOPY | CANOPY | DBH | REMARKS |   |          |                    |                    |    |    |      |      |          |       |        |   |  |
|  |     |     |                |                    |        |        | inches |           |             |          | LOSS   | LOSS   |     |         |   |          |                    |                    |    |    |      |      |          |       |        |   |  |
| 101  | CE  |     | GREEN BUTTWOOD | Conocarpus erectus | 25     | 15     | 7      | FAIR      |             | REMAIN   | 177    |        |     |         | 131   | QV       | LIVE OAK           | Quercus virginiana | 40 | 40 | 27   | FAIR | RELOCATE | 962   |        |   |  |
| 102  | CE  |     | GREEN BUTTWOOD | Conocarpus erectus | 28     | 22     | 8      | FAIR      |             | REMAIN   | 380    |        |     |         | 132   | QV       | LIVE OAK           | Quercus virginiana | 35 | 35 | 24   |      | REMAIN   | 962   |        |   |  |
| 103  | RE  |     | ROYAL PALM     | Roystonea elata    | 30     | 15     | 12     | GOOD      |             | REMAIN   | 177    |        |     |         | 133   | QV       | LIVE OAK           | Quercus virginiana | 35 | 35 | 24   |      | REMAIN   | 962   |        |   |  |
| 104  | RE  |     | ROYAL PALM     | Roystonea elata    | 28     | 15     | 12     | FAIR      |             | REMAIN   | 177    |        |     |         | 134   | QV       | LIVE OAK           | Quercus virginiana | 25 | 28 | 20   |      | REMAIN   | 616   |        |   |  |
| 105  | RE  |     | ROYAL PALM     | Roystonea elata    | 30     | 20     | 10     | GOOD      |             | REMAIN   | 314    |        |     |         | 135   | QV       | LIVE OAK           | Quercus virginiana | 30 | 35 | 28   |      | REMAIN   | 962   |        |   |  |
| 106  | RE  |     | ROYAL PALM     | Roystonea elata    | 30     | 12     | 12     | POOR      |             | REMAIN   | 113    |        |     |         | 136   | QV       | LIVE OAK           | Quercus virginiana | 30 | 30 | 20   |      | REMAIN   | 707   |        |   |  |
| 107  | RE  |     | ROYAL PALM     | Roystonea elata    | 26     | 8      | 12     | POOR      |             | REMAIN   | 50     |        |     |         | 137   | QV       | LIVE OAK           | Quercus virginiana | 30 | 35 | 22   |      | REMAIN   | 962   |        |   |  |
| 108  | RE  |     | ROYAL PALM     | Roystonea elata    | 34     | 20     | 10     | GOOD      |             | RELOCATE | 314    |        |     |         | 138   | QV       | LIVE OAK           | Quercus virginiana | 22 | 20 | 8    |      | REMAIN   | 962   |        |   |  |
| 109  | QV  |     | LIVE OAK       | Quercus virginiana | 20     | 18     | 5      | GOOD      |             | RELOCATE | 254    |        |     |         | 139   | QV       | LIVE OAK           | Quercus virginiana | 22 | 20 | 8    |      | REMAIN   | 314   |        |   |  |
| 110  | QV  |     | LIVE OAK       | Quercus virginiana | 28     | 22     | 8      | GOOD      |             | RELOCATE | 380    |        |     |         | 140   | QV       | LIVE OAK           | Quercus virginiana | 24 | 20 | 8    |      | REMAIN   | 314   |        |   |  |
| 111  | QV  |     | LIVE OAK       | Quercus virginiana | 20     | 18     | 8      | GOOD      |             | REMAIN   | 254    |        |     |         | 141   | QV       | LIVE OAK           | Quercus virginiana | 18 | 18 | 7    |      | REMAIN   | 254   |        |   |  |
| 112  | QV  |     | LIVE OAK       | Quercus virginiana | 16     | 15     | 5      | GOOD      |             | REMAIN   | 177    |        |     |         | 142   | QV       | LIVE OAK           | Quercus virginiana | 18 | 15 | 5    |      | RELOCATE | 177   |        |   |  |
| 113  | QV  |     | LIVE OAK       | Quercus virginiana | 20     | 20     | 7      | GOOD      |             | REMAIN   | 314    |        |     |         | 143   | QV       | LIVE OAK           | Quercus virginiana | 18 | 16 | 6    |      | RELOCATE | 201   |        |   |  |
| 114  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 16     | 5      | GOOD      |             | REMAIN   | 201    |        |     |         | 144   | QV       | LIVE OAK           | Quercus virginiana | 20 | 15 | 6    |      | REMAIN   | 177   |        |   |  |
| 115  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 14     | 5      | GOOD      |             | REMAIN   | 154    |        |     |         | 145   | QV       | LIVE OAK           | Quercus virginiana | 20 | 15 | 6    |      | REMAIN   | 177   |        |   |  |
| 116  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 16     | 6      | GOOD      |             | REMAIN   | 201    |        |     |         | 146   | QV       | LIVE OAK           | Quercus virginiana | 20 | 24 | 6    |      | REMAIN   | 452   |        |   |  |
| 117  | QV  |     | LIVE OAK       | Quercus virginiana | 16     | 16     | 5      | GOOD      |             | REMAIN   | 314    |        |     |         | 147   | QV       | LIVE OAK           | Quercus virginiana | 20 | 24 | 6    |      | REMAIN   | 452   |        |   |  |
| 118  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 16     | 7      | GOOD      |             | REMAIN   | 314    |        |     |         | 148   | QV       | LIVE OAK           | Quercus virginiana | 20 | 24 | 6    |      | REMAIN   | 452   |        |   |  |
| 119  | QV  |     | LIVE OAK       | Quercus virginiana | 25     | 18     | 8      | GOOD      |             | REMAIN   | 452    |        |     |         | 149   | QV       | LIVE OAK           | Quercus virginiana | 18 | 18 | 6    |      | REMAIN   | 254   |        |   |  |
| 120  | QV  |     | LIVE OAK       | Quercus virginiana | 24     | 20     | 8      | GOOD      |             | RELOCATE | 314    |        |     |         | 150   | QV       | LIVE OAK           | Quercus virginiana | 18 | 16 | 5    |      | REMAIN   | 201   |        |   |  |
| 121  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 18     | 7      | GOOD      |             | REMAIN   | 254    |        |     |         | 151   | QV       | LIVE OAK           | Quercus virginiana | 24 | 16 | 6    |      | REMAIN   | 201   |        |   |  |
| 122  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 18     | 6      | GOOD      |             | REMAIN   | 254    |        |     |         | 152   | QV       | LIVE OAK           | Quercus virginiana | 18 | 18 | 6    |      | REMAIN   | 254   |        |   |  |
| 123  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 18     | 8      | GOOD      |             | REMAIN   | 254    |        |     |         | 153   | QV       | LIVE OAK           | Quercus virginiana | 20 | 18 | 8    |      | REMAIN   | 254   |        |   |  |
| 124  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 20     | 7      | GOOD      |             | REMAIN   | 254    |        |     |         | TOTALS  |          |                    |                    |    |    |      |      |          |       | 15,586 | 0 |  |
| 125  | QV  |     | LIVE OAK       | Quercus virginiana | 16     | 16     | 5      | GOOD      |             | REMAIN   | 452    |        |     |         | FIELD VERIFICATION PERFORMED ON July 28, 2016 |          |                    |                    |    |    |      |      |          |       |        |   |  |
| 126  | QV  |     | LIVE OAK       | Quercus virginiana | 20     | 18     | 6      |           |             | REMAIN   | 154    |        |     |         |   |          |                    |                    |    |    |      |      |          |       |        |   |  |
| 127  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 18     | 6      |           |             | REMAIN   | 154    |        |     |         |   |          |                    |                    |    |    |      |      |          |       |        |   |  |
| 128  | QV  |     | LIVE OAK       | Quercus virginiana | 18     | 10     | 4      |           |             | REMAIN   | 314    |        |     |         |   |          |                    |                    |    |    |      |      |          |       |        |   |  |

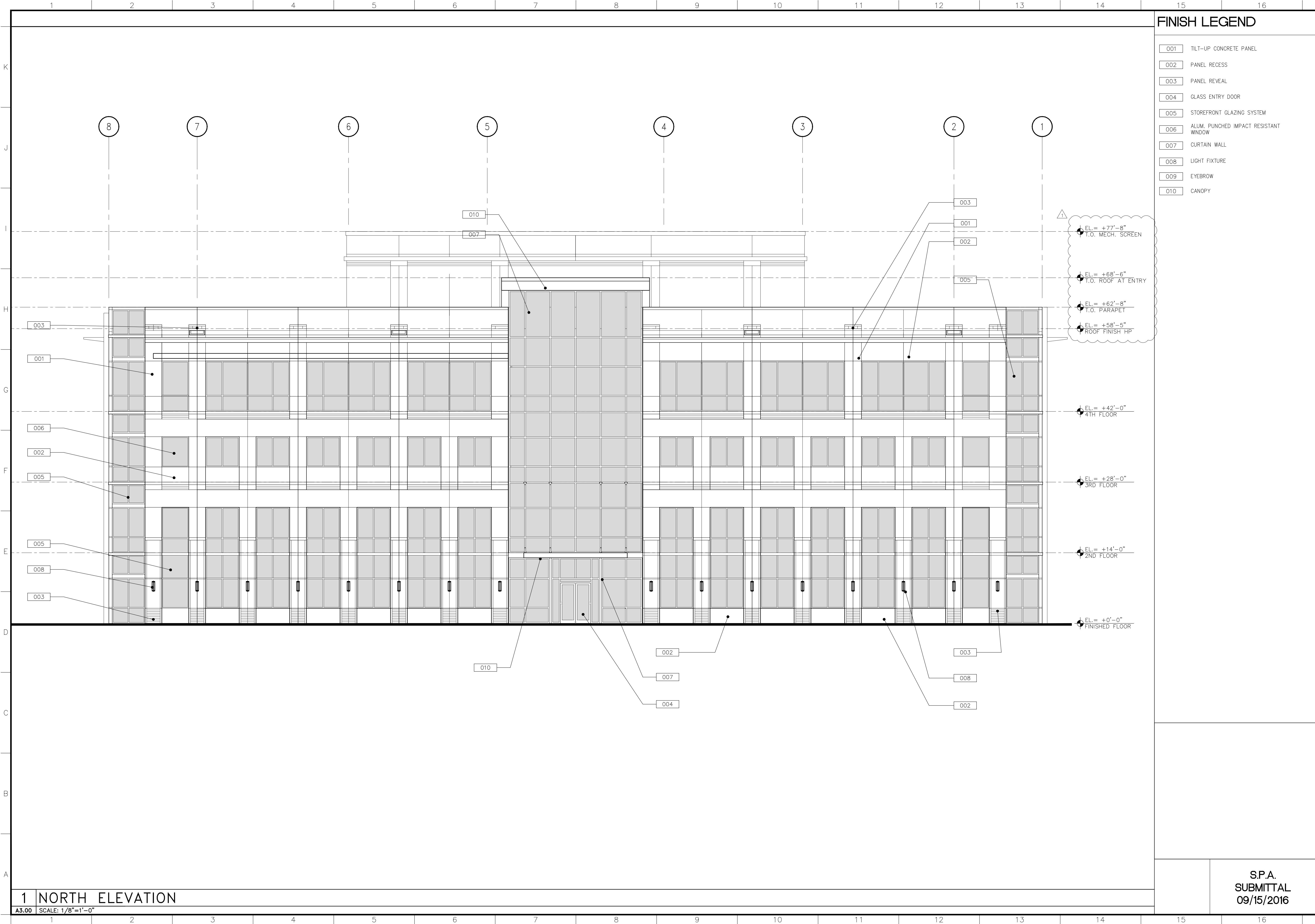


# TD-2

SEE LANDSCAPE PLANS FOR PROPOSED  
PLANTINGS, LANDSCAPE LEGEND, PLANTLIST,  
DETAILS ETC.



## TREE DISPOSITION PLAN

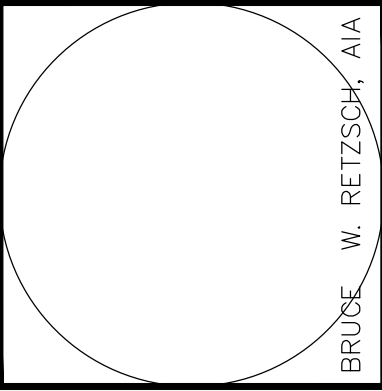


| FINISH LEGEND |                                       |
|---------------|---------------------------------------|
| 001           | TILT-UP CONCRETE PANEL                |
| 002           | PANEL RECESS                          |
| 003           | PANEL REVEAL                          |
| 004           | GLASS ENTRY DOOR                      |
| 005           | STOREFRONT GLAZING SYSTEM             |
| 006           | ALUM. PUNCHED IMPACT RESISTANT WINDOW |
| 007           | CURTAIN WALL                          |
| 008           | LIGHT FIXTURE                         |
| 009           | EYEBROW                               |
| 010           | CANOPY                                |

RLCArchitects

14 SE 4th Street, Suite 300  
Tulsa, OK 74103  
Tel: 918.593.8555 Fax: 918.593.0007  
Web: www.rlcarchitects.com

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BOB GRAHAM OFFICE BUILDING

14800 OAK LANE  
MIAMI LAKES, FLORIDA 33016

| REVISIONS | DATE    |
|-----------|---------|
| 1         | 1/07/16 |
| 2         |         |
| 3         |         |
| 4         |         |
| 5         |         |
| 6         |         |
| 7         |         |
| 8         |         |
| 9         |         |
| 10        |         |

Drawing Title

NORTH ELEVATION

Scale

Project No. 16053.01

Date 09/15/16

Principal: BR

Project Director: WB

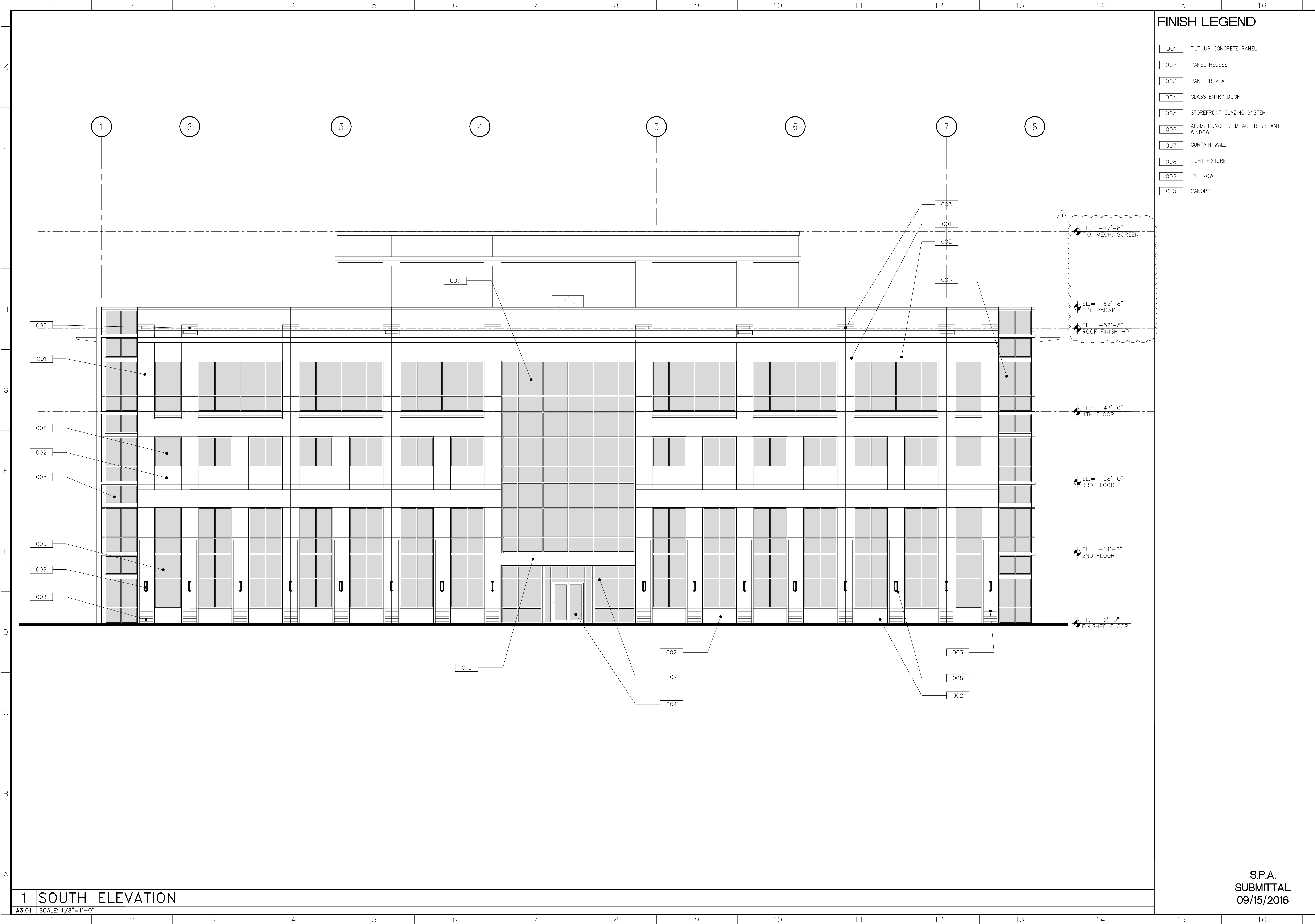
Project Manager: AB

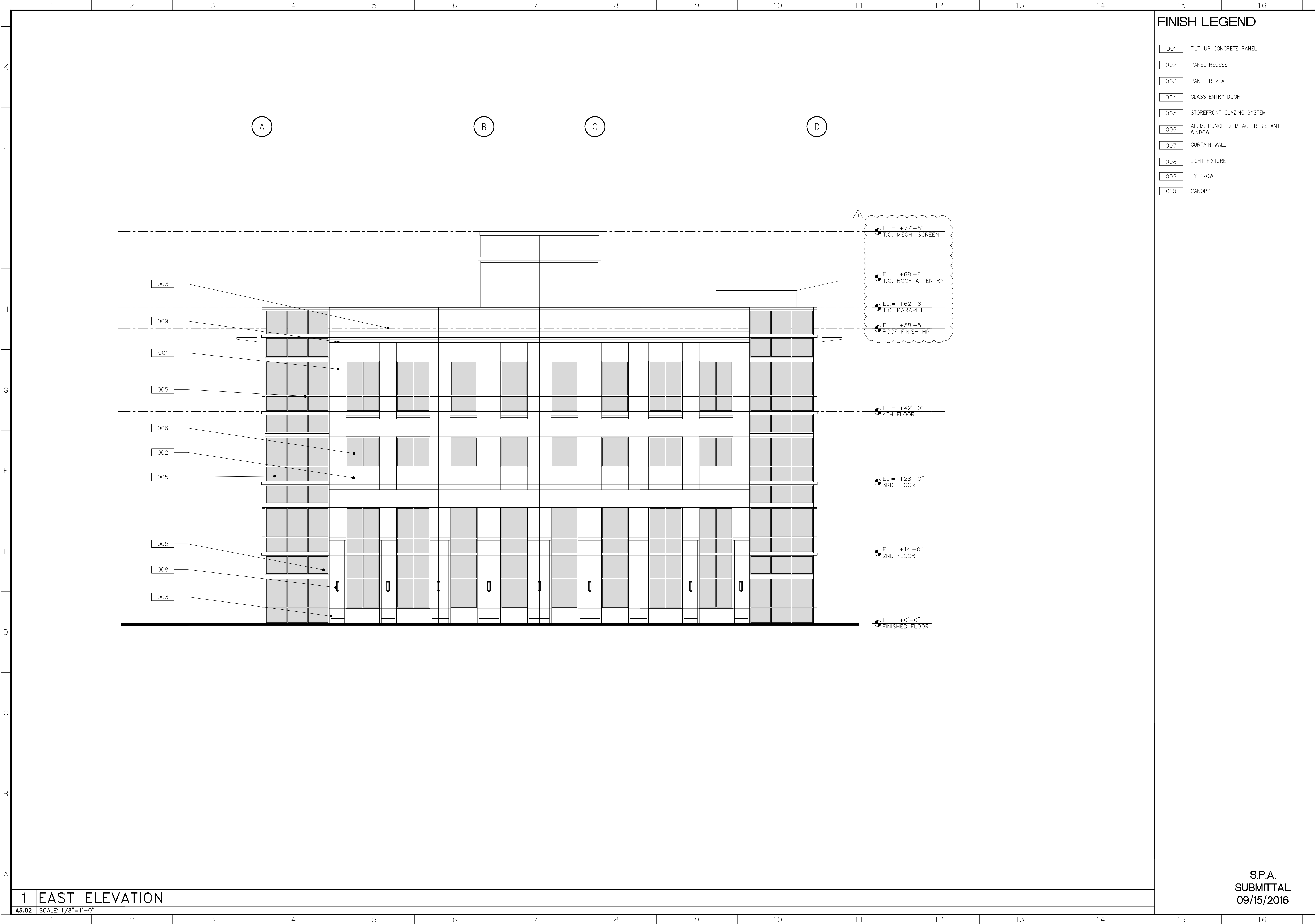
Drafted by: AB

Checked by: BR

Sheet No.

A3.00





**RLC Architects**  
14 SE 4th Street, Suite 200, Ft. Lauderdale, FL 33302  
Tel 954.393.6555 Fax 954.395.0007  
Web www.rlcarchitects.com

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BRUCE W. RETZSCH, AIA

**BOB GRAHAM OFFICE BUILDING**

14800 OAK LANE  
MIAMI LAKES, FLORIDA 33016

REVISIONS

| NO. | DATE     | DESCRIPTION |
|-----|----------|-------------|
| 1   | 11/07/16 |             |
| 2   |          |             |
| 3   |          |             |
| 4   |          |             |
| 5   |          |             |
| 6   |          |             |
| 7   |          |             |
| 8   |          |             |
| 9   |          |             |
| 10  |          |             |

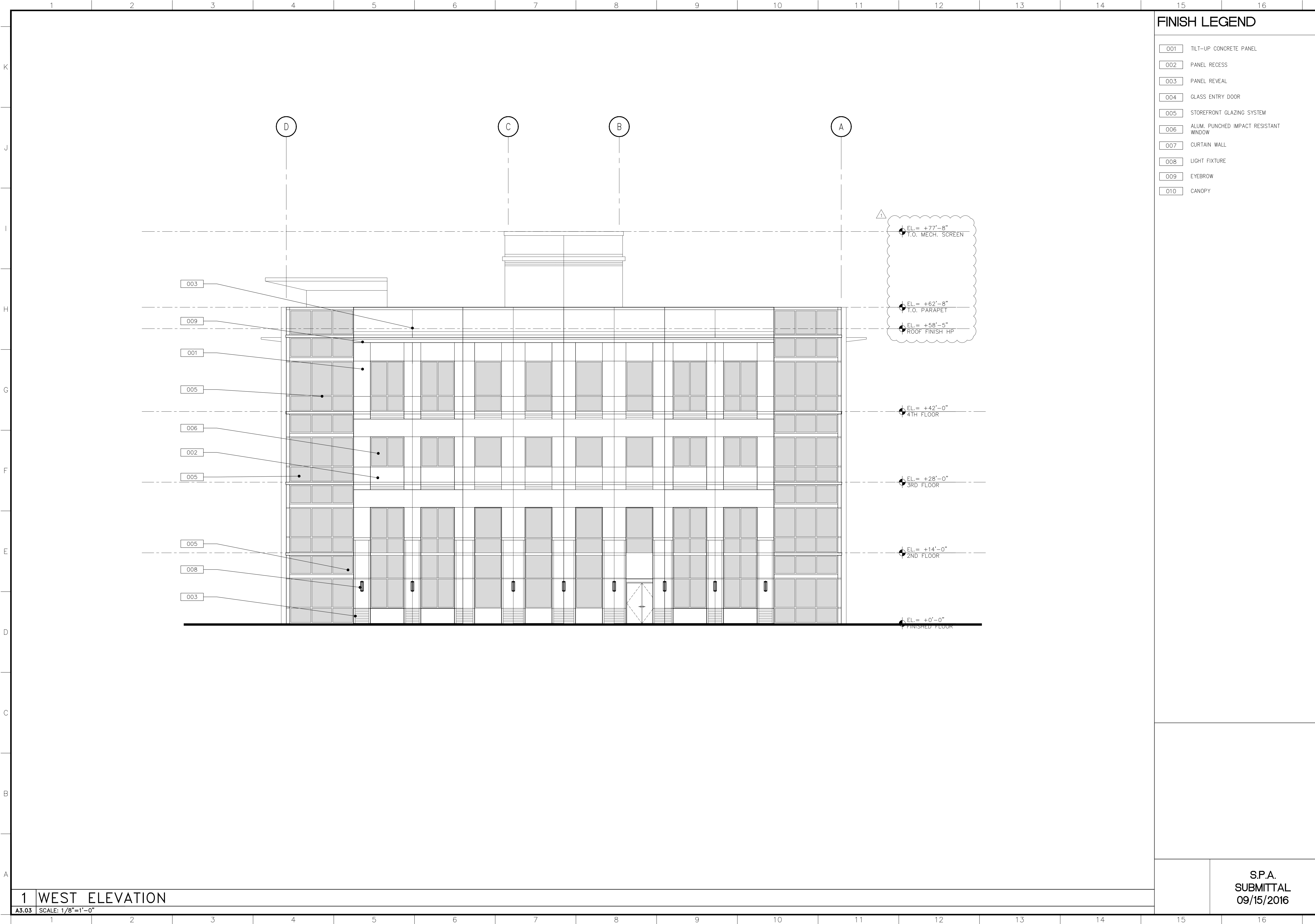
Drawing Title  
**EAST ELEVATION**

Scale  
Project No. 16053.01  
Date 09/15/16

Principal: BR  
Project Director: MB  
Project Manager: AB  
Drafted by: AB  
Checked by: BR

Sheet No.  
**A3.02**

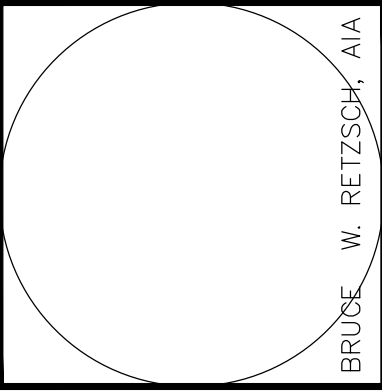
S.P.A.  
SUBMITTAL  
09/15/2016



FINISH LEGEND

- 001 TILT-UP CONCRETE PANEL
- 002 PANEL RECESS
- 003 PANEL REVEAL
- 004 GLASS ENTRY DOOR
- 005 STOREFRONT GLAZING SYSTEM
- 006 ALUM. PUNCHED IMPACT RESISTANT WINDOW
- 007 CURTAIN WALL
- 008 LIGHT FIXTURE
- 009 EYEBROW
- 010 CANOPY

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**BOB GRAHAM OFFICE BUILDING**  
  
14800 OAK LANE  
MIAMI LAKES, FLORIDA 33016

|                     |         |
|---------------------|---------|
| REVISIONS           | 1/07/16 |
| △ SPA RE-SUBMITTAL: |         |
|                     |         |
|                     |         |
|                     |         |
|                     |         |
|                     |         |
|                     |         |

Drawing Title  
**WEST ELEVATION**

Scale  
Project No. 16053.01  
Date 09/15/16

Principal: BR  
Project Director: MB  
Project Manager: AB  
Drafted by: AB  
Checked by: BR

Sheet No.  
**A3.03**

S.P.A.  
SUBMITTAL  
09/15/2016



## Planning, Zoning, and Code Compliance Department

### PLANNING AND ZONING PUBLIC HEARING APPLICATION

PLAT

PLAT 2016-0005 File #

"MIAMI LAKES OFFICE PARK  
SECTION 1"

Date Received

Date of Pre-application Meeting

**NOTE TO APPLICANTS:** A pre-application meeting with the Town's Planning and Zoning Department staff is required prior to official application filing. Please call 305 364-6100 for an appointment.

32-2022-008-0013

1. Name of Applicant TGC Governors Square LLC
- If applicant is owner, give name exactly as recorded on deed.
  - If applicant is lessee, attach copy of valid lease of 1 year or more and Owner's Sworn-to-Consent form.
  - If applicant is corporation, partnership, limited partnership, or trustee, a separate Disclosure of Interest form must be completed.

Mailing Address 6843 Main Street

City Miami Lakes State FL ZIP 33014

Tel. # (during working hours) 305-817-4044 Other \_\_\_\_\_

E-Mail: stu.wyllie@grahamcos.com Mobile #: \_\_\_\_\_

2. Name of Property Owner TGC Governors Square LLC

Mailing Address 6843 Main Street

City Miami Lakes State FL ZIP 33014

Tel. # (during working hours) 305-817-4044 Other \_\_\_\_\_

3. Contact Person Stu Wyllie

Mailing Address 6843 Main Street

City Miami Lakes State FL ZIP 33014

Tel. # (during working hours) 305-817-4044 Other \_\_\_\_\_

E-Mail: stu.wyllie@grahamcos.com Mobile #: \_\_\_\_\_

4. LEGAL DESCRIPTION OF THE PROPERTY COVERED BY THE APPLICATION

- If subdivided, provide lot, block, complete name of subdivision, plat book and page number.
- If metes and bounds description, provide complete description (including section, township, and range).
- Attach a separate typed sheet, if necessary. Please verify the accuracy of your legal description

See attached

6601 Main Street • Miami Lakes, Florida, 33014

Office: (305) 364-6100 • Fax: (305) 558-8511

Website: [www.miamilakes-fl.gov](http://www.miamilakes-fl.gov)

  
**MIAMI LAKES**  
*Growing Beautifully*

5. Address or location of property (including section, township, and range): Southeast corner of Commerce Way & NW 82 Ave., Town of Miami Lakes Section 22, Township 52 South, Range 40 East
6. Size of property: 317,727 SF × \_\_\_\_\_ Acres ± 7.29
7. Date subject property ☒ acquired or ☐ leased \_\_\_\_\_ day of \_\_\_\_\_  
Term of lease; \_\_\_\_\_ years/months.
8. Does property owner own contiguous property to the subject property? If so, give complete legal description of entire contiguous property. (If lengthy, please type on a sheet labeled "Contiguous Property.")  
\_\_\_\_\_
9. Is there an option to ☐ purchase or ☐ lease the subject property or property contiguous thereto? ☐ Yes ☐ No  
If yes, who are the potential purchasers or lessees? (Complete section of Disclosure of Interest form, also.)  
\_\_\_\_\_
10. Present zoning classification(s): IU-C Present land use classification(s): Industrial and Office
11. REQUEST(S) COVERED UNDER THIS APPLICATION:  
Please check the appropriate box and give a brief description of the nature of the request in the space provided.  
Be advised that all zone changes require concurrent site plan approval.
- ☐ District Boundary (Zone) Change(s):  
Zoning Requested: \_\_\_\_\_
- ☐ Future Land Use Map (FLUM) Amendment:  
Future Land Use Requested: \_\_\_\_\_
- ☐ Site Plan Approval \_\_\_\_\_
- ☐ Variance \_\_\_\_\_
- ☒ Preliminary Plat Approval: Bob Graham Building
- ☐ Final Plat Approval: \_\_\_\_\_
- ☐ Modification of Previous Resolution/Plan/Ordinance \_\_\_\_\_
- ☐ Modification of Declaration or Covenant \_\_\_\_\_
12. Has a public hearing been held on this property within the last year and a half? ☐ Yes ☒ No  
If yes, applicant's name \_\_\_\_\_ Date of Hearing \_\_\_\_\_  
Nature of Hearing \_\_\_\_\_  
Decision of Hearing \_\_\_\_\_ Resolution # \_\_\_\_\_
13. Is this hearing being requested as a result of a violation notice? ☐ Yes ☒ No  
If yes, give name to whom violation notice was served \_\_\_\_\_  
Nature of violation \_\_\_\_\_



14. Are there any existing structures on the property? ☐ Yes ☒ No

If yes, briefly describe \_\_\_\_\_

15. Is there any existing use on the property? ☐ Yes ☒ No

If yes, what is the use and when was it established? \_\_\_\_\_

6601 Main Street • Miami Lakes, Florida, 33014

Office: (305) 364-6100 • Fax: (305) 558-8511

Website: [www.miamilakes-fl.gov](http://www.miamilakes-fl.gov)

## LEGAL DESCRIPTION FOR BOB GRAHAM BUILDING

A PORTION OF TRACT "A," ACCORDING TO THE PLAT OF "MIAMI LAKES OFFICE PARK SECTION ONE," AS RECORDED IN PLAT BOOK 125 AT PAGE 56; TOGETHER WITH A PORTION OF TRACTS 22 AND 23 IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION," AS RECORDED IN PLAT BOOK 2 AT PAGE 68, BOTH OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE MOST EASTERLY CORNER OF SAID TRACT "A," AS SHOWN ON THE SAID PLAT OF "MIAMI LAKES OFFICE PARK SECTION ONE;" THENCE SOUTH 00 DEGREES 07 MINUTES 01 SECONDS WEST, ALONG THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL WAY (COMMERCE WAY), AS SHOWN ON THE PLAT OF "MIAMI LAKES INDUSTRIAL PARK SECTION NINE," AS RECORDED IN PLAT BOOK 117 AT PAGE 76, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR 194.26 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY AND WESTERLY, ALONG THE ARC OF A CIRCULAR CURVE TO THE RIGHT, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 15.00 FEET AND A CENTRAL ANGLE OF 89 DEGREES 52 MINUTES 59 SECONDS FOR AN ARC DISTANCE OF 23.53 FEET TO A POINT OF TANGENCY; THENCE WEST FOR 307.37 FEET; THENCE NORTH 63 DEGREES 22 MINUTES 29 SECONDS WEST FOR 355.60 FEET; THENCE NORTH 26 DEGREES 37 MINUTES 31 SECONDS EAST, AT RIGHT ANGLES TO THE LAST AND NEXT DESCRIBED COURSES, FOR 18.00 FEET; THENCE NORTH 63 DEGREES 22 MINUTES 29 SECONDS WEST FOR 158.04 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 01 SECONDS EAST FOR 118.53 FEET; THENCE NORTH 89 DEGREES 52 MINUTES 59 SECONDS WEST FOR A DISTANCE OF 90.90 FEET TO A POINT OF CURVATURE; THENCE WESTERLY AND NORTHWESTERLY, ALONG THE ARC OF A CIRCULAR CURVE TO THE RIGHT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 243.00 FEET AND A CENTRAL ANGLE OF 62 DEGREES 48 MINUTES 30 SECONDS, FOR AN ARC DISTANCE OF 266.38 FEET TO A POINT (FROM SAID POINT A LINE BEARS NORTH 62 DEGREES 55 MINUTES 31 SECONDS EAST TO THE RADIUS POINT OF THE LAST DESCRIBED COURSE); THENCE RUN NORTH 41 DEGREES 07 MINUTES 01 SECONDS EAST FOR A DISTANCE OF 31.58 FEET TO A POINT ON THE NEXT DESCRIBED CIRCULAR CURVE (FROM SAID POINT A LINE BEARS NORTH 66 DEGREES 04 MINUTES 05 SECONDS EAST TO THE RADIUS POINT OF THE NEXT DESCRIBED COURSE); THENCE RUN SOUTHEASTERLY AND EASTERLY ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 214.00 AND A CENTRAL ANGLE OF 65 DEGREES 57 MINUTES 04 SECONDS, FOR AN ARC DISTANCE OF 246.33 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89 DEGREES 52 MINUTES 59 SECONDS EAST FOR 319.48 FEET TO A POINT OF CURVATURE; THENCE RUN EASTERLY AND NORTHEASTERLY, ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 250.00 FEET AND A CENTRAL ANGLE OF 49 DEGREES 03 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 214.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 41 DEGREES 03 MINUTES 14 SECONDS EAST, RADIAL

TO THE NEXT DESCRIBED CIRCULAR CURVE, FOR 233.66 FEET TO A POINT ON THE FOLLOWING DESCRIBED CIRCULAR CURVE; SAID LAST DESCRIBED FOUR COURSES BEING ALONG THE CENTERLINE OF A 58.00 FOOT WIDE INGRESS-EGRESS EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 27060 AT PAGE 2827 AND OFFICIAL RECORDS BOOK 13809 AT PAGE 3459, BOTH OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE SOUTHEASTERLY, SOUTHERLY AND SOUTHWESTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE RIGHT, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 590.00 FEET AND A CENTRAL ANGLE OF 49 DEGREES 03 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 505.22 FEET TO THE POINT OF BEGINNING; SAID LAST DESCRIBED COURSE BEING ALONG THE WEST RIGHT-OF-WAY LINE OF THE AFORESAID INDUSTRIAL WAY (COMMERCE WAY), ALL LYING AND BEING IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA.

OWNERSHIP AFFIDAVIT  
FOR  
CORPORATION

STATE OF FLORIDA

Public Hearing No. \_\_\_\_\_

COUNTY OF MIAMI-DADE

Before me, the undersigned authority, personally appeared, hereinafter the Affiants, who being first duly sworn by me, on oath, depose and say:

1. Affiants are the fee owners of the property which is the subject of the proposed hearing.
2. The subject property is legally described as: See Attached.
3. Affiants understand this affidavit is subject to the penalties of law for perjury and the possibility of voiding of any zoning granted at public hearing.

Witnesses:

Signature

Print Name

Signature

Print Name

Stu Wyllie, President & CEO

The Graham Companies, a Florida Corporation, Manager for  
TGC Governors Square LLC, a Florida limited liability company

Sworn to and subscribed before me on the 14th day of October, 2016. Affiant is personally known to me or has produced \_\_\_\_\_ as identification.



NANCY E. ROARK  
MY COMMISSION # FF 229649  
EXPIRES: September 11, 2019  
Bonded Thru Budget Notary Services

Notary

(Stamp/Seal)

My Commission Expires: 9/11/19

Witnesses:

Signature

Print Name

Signature

Print Name

Sworn to and subscribed before me on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. Affiant is personally known to me or has produced \_\_\_\_\_ as identification.

Notary

(Stamp/Seal)

My Commission Expires: \_\_\_\_\_

6601 Main Street • Miami Lakes, Florida, 33014

Office: (305) 364-6100 • Fax: (305) 558-8511

Website: [www.miamilakes-fl.gov](http://www.miamilakes-fl.gov)

DISCLOSURE OF INTEREST\*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest.]

CORPORATION NAME: The Graham Companies, a Florida Corporation, Manager for  
TGC Governors Square LLC, a Florida limited liability company

NAME AND ADDRESS: See attached Percentage of Stock

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If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest.]

TRUST / ESTATE NAME: \_\_\_\_\_

NAME AND ADDRESS: \_\_\_\_\_ Percentage of Interest

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If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s), or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests.]

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

NAME AND ADDRESS: \_\_\_\_\_ Percent of Ownership

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**THE GRAHAM COMPANIES STOCKHOLDERS**  
**RECORD DATE March 31, 2016**

|  | A                   |               | B                     |               | TOTAL                 |                 |
|--|---------------------|---------------|-----------------------|---------------|-----------------------|-----------------|
|  | SHARES              | %             | SHARES                | %             | SHARES                | %               |
| <b>WILLIAM A GRAHAM FAMILY</b>   |                     |               |                       |               |                       |                 |
| CGW & EGM, Co-Tees of the PCG Rev Trust u/d/t dtd 3/25/94                | -                   | -             | 85,754.3825           | 9.42          | 85,754.3825           | 8.1817          |
| CGW & EGM, Co-Tees, fbo Marital Trust, dtd 3/25/94                       | 26,026.1000         | 18.92         | 34,922.2000           | 3.84          | 60,948.3000           | 5.8150          |
| CDY, tee, SG Younts Family Trust, fbo CD Younts, dtd 3/3/2010            | -                   | -             | 2,047.8000            | 0.22          | 2,047.8000            | 0.1954          |
| CAROL G. WYLLIE  | 24.7600             | 0.02          | 446.8762              | 0.05          | 471.6362              | 0.0450          |
| CAROL G. WYLLIE 2012 Family Trust Agreement                              | 9,000.0000          | 6.54          | 38,810.8200           | 4.26          | 47,810.8200           | 4.5616          |
| GRAHAM-WYLLIE Family Trust Agreement                                     | -                   | -             | 9,467.9092            | 1.04          | 9,467.9092            | 0.9033          |
| CYNTHIA G. GORDON  | 6,815.0000          | 4.95          | 24,990.4389           | 2.74          | 31,805.4389           | 3.0345          |
| CGW tee, Gordon Family Irrev Trust fbo KP GORDON, dtd 12/19/12           | -                   | -             | 4,733.9496            | 0.52          | 4,733.9496            | 0.4517          |
| CGW, tee Gordon Family Irrev Trust fbo LW GORDON, dtd 12/19/12           | -                   | -             | 4,733.9496            | 0.52          | 4,733.9496            | 0.4517          |
| ELIZABETH G MARTINEZ   | -                   | -             | 338.1316              | 0.04          | 338.1316              | 0.0323          |
| ELIZABETH G. MARTINEZ 2012 Family Trust Agreement                        | 6,485.9700          | 4.71          | 44,876.9200           | 4.93          | 51,362.8900           | 4.9005          |
| GRAHAM-MARTINEZ Family Trust Agreement                                   | -                   | -             | 12,787.2284           | 1.40          | 12,787.2284           | 1.2200          |
| LUIS O. MARTINEZ   | -                   | -             | 149.5042              | 0.02          | 149.5042              | 0.0143          |
| LUIS O. MARTINEZ Family Trust  | 4,341.0000          | 3.15          | 8,567.8079            | 0.94          | 12,908.8079           | 1.2316          |
| MICHAEL A. MARTINEZ  | -                   | -             | 1,643.3800            | 0.18          | 1,643.3800            | 0.1568          |
| DANIEL L. MARTINEZ   | -                   | -             | 5,199.1400            | 0.57          | 5,199.1400            | 0.4960          |
| KATHRYN N. MARTINEZ  | -                   | -             | 1,643.3800            | 0.18          | 1,643.3800            | 0.1568          |
| ALISON J. MARTINEZ   | -                   | -             | 4,971.4200            | 0.55          | 4,971.4200            | 0.4743          |
| STUART S. WYLLIE   | -                   | -             | 207.5692              | 0.02          | 207.5692              | 0.0198          |
| STUART WYLLIE 2012 Family Trust Agreement                                | 5,295.7600          | 3.85          | 11,778.0000           | 1.29          | 17,073.7600           | 1.6290          |
| BENJAMIN C. GORDON   | 4,341.0000          | 3.15          | 4,870.3121            | 0.53          | 9,211.3121            | 0.8788          |
| KATHLEEN P. GORDON   | -                   | -             | 1,643.3800            | 0.18          | 1,643.3800            | 0.1568          |
| LEE W. GORDON  | -                   | -             | 1,643.3800            | 0.18          | 1,643.3800            | 0.1568          |
| TRACY F. GRAHAM  | -                   | -             | 1,773.0000            | 0.19          | 1,773.0000            | 0.1692          |
| ANDREA L. GRAHAM   | 1,630.4300          | 1.18          | 13,735.6079           | 1.51          | 15,366.0379           | 1.4660          |
| AG RECHICHI, tee of Trust fbo AG RECHICHI ctd u/A VIII of WEG Tst '99    | 3,407.5000          | 2.48          | 14,519.0132           | 1.59          | 17,926.5132           | 1.7103          |
| AL Graham, tee of Trust fbo AL Graham Trust ctd u/A III of WEG Tst '01   | -                   | -             | 1,362.0000            | 0.15          | 1,362.0000            | 0.1299          |
| RECHICHI CHILDREN'S TRUST, fbo William M. Rechichi                       | -                   | -             | 393.3370              | 0.04          | 393.3370              | 0.0375          |
| KRISTOPHER E. GRAHAM   | -                   | -             | 11,465.2279           | 1.26          | 11,465.2279           | 1.0939          |
| KE GRAHAM, tee of Trust fbo KE GRAHAM ctd u/A VIII of WEG Tst '99        | 3,407.5000          | 2.48          | 14,657.5828           | 1.61          | 18,065.0828           | 1.7236          |
| EGM, Tee, L. E. WYLLIE TR u/a/d 8/4/93                                   | 815.2200            | 0.59          | 10,810.1301           | 1.17          | 11,425.3501           | 1.0901          |
| LAURA E. WYLLIE  | -                   | -             | 4,986.7600            | 0.55          | 4,986.7600            | 0.4758          |
| EGM, Tee, P. S. WYLLIE TR u/a/d 8/4/93                                   | 815.2200            | 0.59          | 10,790.9201           | 1.19          | 11,606.1401           | 1.1073          |
| PHILIP S. WYLLIE   | -                   | -             | 4,805.9700            | 0.53          | 4,805.9700            | 0.4585          |
| CGW, Tee, D. L. MARTINEZ TR u/a/d 12/30/93                               | 1,873.1600          | 1.36          | 6,363.7912            | 0.70          | 8,236.9512            | 0.7859          |
| CGW, Tee, A. J. MARTINEZ TR u/a/d 12/30/93                               | 1,873.1600          | 1.36          | 6,591.5111            | 0.72          | 8,464.6711            | 0.8076          |
| CGW, Tee, M. A. MARTINEZ TR u/a/d 12/30/93                               | 688.8350            | 0.50          | 12,297.7675           | 1.35          | 12,986.6025           | 1.2390          |
| CGW, Tee, K. N. MARTINEZ TR u/a/d 12/30/93                               | 688.8350            | 0.50          | 12,297.7675           | 1.35          | 12,986.6025           | 1.2390          |
| CGG, As Custodian for K. GORDON u/Co Unif Trs                            | 1,902.1700          | 1.38          | 5,481.7675            | 0.60          | 7,383.9375            | 0.7045          |
| CGG, Tee, L. W. GORDON TR u/a/d 10/16/92                                 | 543.4800            | 0.39          | 9,327.7675            | 1.02          | 9,871.2475            | 0.9418          |
| JOAN G. GRAHAM   | 220.0000            | 0.16          | 1,565.0000            | 0.17          | 1,785.0000            | 0.1703          |
|  | 80,195.1000         | 58.28         | 449,252.8007          | 49.34         | 529,447.9007          | 50.5138         |
| <b>D. ROBERT GRAHAM FAMILY</b>   |                     |               |                       |               |                       |                 |
| D. ROBERT GRAHAM REVOC LIV TR 9/1/2000                                   | 28,718.5000         | 20.87         | 13,283.6491           | 1.46          | 42,002.1491           | 4.0074          |
| ADELE K. GRAHAM REVOC LIV TR 9/1/2000                                    | -                   | -             | 9,400.0000            | 1.03          | 9,400.0000            | 0.8968          |
| GWENDOLYN GRAHAM   | 950.0000            | 0.69          | 46,194.0347           | 5.07          | 47,144.0347           | 4.4979          |
| GWENDOLYN GRAHAM, Tee, MARK E. LOGAN TR                                  | -                   | -             | 996.7958              | 0.11          | 996.7958              | 0.0951          |
| GWENDOLYN GRAHAM, Tee, SARAH G. LOGAN TR                                 | -                   | -             | 996.7962              | 0.11          | 996.7962              | 0.0951          |
| GWENDOLYN GRAHAM, Tee, TIMOTHY G. LOGAN TR                               | -                   | -             | 996.7958              | 0.11          | 996.7958              | 0.0951          |
| GLYNN G. McCULLOUGH  | 798.0000            | 0.58          | 35,358.1980           | 3.88          | 36,157.1980           | 3.4497          |
| WILLIAM B. McCULLOUGH  | -                   | -             | 2,520.4594            | 0.28          | 2,520.4594            | 0.2405          |
| McCULLOUGH Family Trust fbo MELISSA G. McCULLOUGH                        | -                   | -             | 836.2852              | 0.09          | 836.2852              | 0.0798          |
| McCULLOUGH Family Trust fbo WILLIAM G. McCULLOUGH                        | -                   | -             | 836.2852              | 0.09          | 836.2852              | 0.0798          |
| McCULLOUGH Family Trust fbo CAROLINE A. McCULLOUGH                       | -                   | -             | 836.2849              | 0.09          | 836.2849              | 0.0798          |
| ARVA G. GIBSON   | 950.0000            | 0.69          | 38,846.6000           | 4.27          | 39,796.6000           | 3.7969          |
| THOMAS C. GIBSON   | -                   | -             | 832.0000              | 0.09          | 832.0000              | 0.0794          |
| THOMAS C. GIBSON, Tee, Gift Trust KENDALL C. GIBSON                      | -                   | -             | 1,813.9943            | 0.20          | 1,813.9943            | 0.1731          |
| THOMAS C. GIBSON, Tee, Gift Trust ANSLEY S. GIBSON                       | -                   | -             | 1,813.9941            | 0.20          | 1,813.9941            | 0.1731          |
| THOMAS C. GIBSON, Tee, Gift Trust ADELE E. GIBSON                        | -                   | -             | 1,813.9943            | 0.20          | 1,813.9943            | 0.1731          |
| KENDALL G. ELIAS   | 950.0000            | 0.69          | 46,842.6010           | 5.14          | 47,792.6010           | 4.5598          |
| L. ROBERT ELIAS III  | -                   | -             | 6,013.7604            | 0.66          | 6,013.7604            | 0.5738          |
| L. ROBERT ELIAS III, tee, Peyton Elias Trust und Elias Children's Trust  | -                   | -             | 1,169.7356            | 0.13          | 1,169.7356            | 0.1116          |
| L. ROBERT ELIAS III, tee, Lewis R Elias Trust und Elias Children's Trust | -                   | -             | 1,169.7356            | 0.13          | 1,169.7356            | 0.1116          |
|  | 32,367.5000         | 23.52         | 212,571.9996          | 23.35         | 244,939.4996          | 23.3693         |
| <b>PHILIP L. GRAHAM FAMILY</b>   |                     |               |                       |               |                       |                 |
| DONALD E. GRAHAM   | 7,222.3000          | 5.25          | 75,458.3000           | 8.29          | 82,680.6000           | 7.8884          |
| WILLIAM W. GRAHAM, Tee, WWG 1969 Revoc Trust                             | 8,472.2000          | 6.16          | 86,708.3000           | 9.52          | 95,180.5000           | 9.0810          |
| STEPHEN M. GRAHAM  | 2,222.2000          | 1.62          | 30,458.4000           | 3.35          | 32,680.6000           | 3.1180          |
|  | 17,916.7000         | 13.02         | 192,625.0000          | 21.16         | 210,541.7000          | 20.0874         |
| <b>MARY GRAHAM CROW FAMILY</b>   |                     |               |                       |               |                       |                 |
| PHILIP G. CROW   | -                   | -             | 3,251.7000            | 0.36          | 3,251.7000            | 0.3102          |
| MARY YORK BEHNCKE  | -                   | -             | 2,790.0000            | 0.31          | 2,790.0000            | 0.2662          |
|  | -                   | -             | 6,041.7000            | 0.66          | 6,041.7000            | 0.5764          |
| <b>FREDERICK S. BEEBE FAMILY</b>   |                     |               |                       |               |                       |                 |
| WALTER H. BEEBE  | 751.0000            | 0.55          | 13,999.0000           | 1.54          | 14,750.0000           | 1.4073          |
| MICHAEL BEEBE  | 596.0000            | 0.43          | 6,170.0000            | 0.68          | 6,766.0000            | 0.6455          |
|  | 1,347.0000          | 0.98          | 20,169.0000           | 2.22          | 21,516.0000           | 2.0528          |
| <b>GERALD E. TOMS FAMILY</b>   |                     |               |                       |               |                       |                 |
| THOMAS N. TOMS II  | 1,456.0000          | 1.06          | 9,949.8000            | 1.09          | 11,405.8000           | 1.0882          |
| LOUIS B. TOMS  | 1,419.7000          | 1.03          | 9,733.3000            | 1.07          | 11,153.0000           | 1.0641          |
| REVOCABLE TRUST AGREEMENT OF ELIZABETH BRINEGAR                          | 1,413.0000          | 1.03          | 4,878.3000            | 0.54          | 6,291.3000            | 0.6002          |
| MARGARET TOMS REVOCABLE TRUST  | 1,479.0000          | 1.07          | 5,309.7000            | 0.58          | 6,788.7000            | 0.6477          |
|  | 5,767.7000          | 4.19          | 29,871.1000           | 3.28          | 35,638.8000           | 3.4002          |
| <b>TOTAL SHARES OUTSTANDING</b>  | <b>137,594.0000</b> | <b>100.00</b> | <b>910,531.6003</b>   | <b>100.00</b> | <b>1,048,125.6003</b> | <b>100.0000</b> |
| <b>TREASURY STOCK</b>  | <b>91,877.1000</b>  |               | <b>1,154,697.3000</b> |               | <b>1,246,574.4000</b> |                 |
| <b>TOTAL SHARES AUTHORIZED</b>   | <b>229,471.1000</b> |               | <b>2,065,228.9003</b> |               | <b>2,294,700.0003</b> |                 |

## Letter of Intent

|                         |   |
|-------------------------|---|
| Property:               | Bob Graham Office Building  |
| Zoning:                 | Current IU-C (Industrial District – Conditional)  |
| Platting:               | Plat required to eliminate tract lines no longer needed and cut out parcel from parent tract.   |
| Number of Parcels:      | 1   |
| Net Area (Plat Limits): | 7.881 +/- gross acres / 343,304 gross square feet<br>7.294 +/- net acres / 317,727 net square feet  |
| Current Use:            | Improved Pasture, Vacant Land   |
| Proposed Use:           | 4-Story Office Building<br>82,903 square feet of office space   |
| Narrative:              | <p>The property is an irregular shaped parcel located near the intersection of Oak Lane and N.W. 148<sup>th</sup> Street. The subject parcel is adjacent to land that is zoned (IU-C) and developed with similar uses, as proposed, is the completion of the commercial build-out of Governor’s Square office park and is additionally served by an existing “shared” ingress-egress circulating road within that overall combined site. While there is a small strip within the northeasterly ad joiner with a BU district, it’s larger platted tract, which is “the developed site”, is zoned IU-C.</p> <p>The proposed project contemplates a speculative office building and will be developed in a way that is consistent with the above mentioned Governor’s Square development, which are also owned by the applicant. The subject parcel requires replatting to adhere to Chapter 28 of the County Code (as well as the Town Code), which requires conformance with Chapter 28. The property is not an original subdivision (plat) of land, but rather a replat of a portion of an underlying plat and is only required because these tracts have been repartitioned from the original lines. The Plat does not seek to create additional parcels, but rather is a cut-out of the parent tract. We respectfully request your favorable consideration of this application.</p> |

| Folio            | Property Owner Name         | Property Address        | Property City | Property Zip Code | Mailing Address                 | Mailing City and State | Mailing Zip Code |
|------------------|-----------------------------|-------------------------|---------------|-------------------|---------------------------------|------------------------|------------------|
| 32-2022-001-0200 | THE GRAHAM COMPANIES        | 8300 COMMERCE WAY       | MIAMI LAKES   | 33016-0000        | 6843 MAIN ST                    | MIAMI LAKES FL         | 33014-2048       |
| 32-2022-044-0300 | ALAMAU PROPERTIES INC       | 7735 NW 146 ST C-7      | MIAMI LAKES   | 33016-1559        | 14100 PALMETTO FRONTAGE RD #210 | MIAMI LAKES FL         | 33016            |
| 32-2022-036-0080 | ALDO P GOMEZ                | 14837 BALGOWAN RD 204-6 | MIAMI LAKES   | 33016-6472        | 14837 BALGOWAN RD 204 6         | MIAMI LAKES FL         | 33016            |
| 32-2022-036-0110 | ALINA M RODRIGUEZ           | 14837 BALGOWAN RD 106-6 | MIAMI LAKES   | 33016-6472        | 14837 BALGOWAN RD #106          | MIAMI LAKES FL         | 33016            |
| 32-2022-044-0320 | ANDERSON TURBO HOLDINGS LLC | 7735 NW 146 ST C-9      | MIAMI LAKES   | 33016-1559        | 7735 NW 146 ST C9 C10 C11       | MIAMI LAKES FL         | 33016            |
| 32-2022-033-0040 | ANNETTE LOPEZ MANN TRS      | 14817 BALGOWAN RD 202-5 | MIAMI LAKES   | 33016-6471        | 14817 BALGOWAN RD #202          | MIAMI LAKES FL         | 33016            |
| 32-2022-035-0020 | ARLETTE BATISTA             | 14827 BALGOWAN RD 201-8 | MIAMI LAKES   | 33016-6474        | 14827 BALGOWAN RD 201 8         | MIAMI LAKES FL         | 33016            |
| 32-2022-044-0410 | AVL PROP LLC                | 7735 NW 146 ST C-20     | MIAMI LAKES   | 33016-1559        | 3002 E LAKE VISTA CIRCLE        | DAVIE FL               | 33328            |
| 32-2022-034-0040 | AYSE KIBAROGLU              | 14847 BALGOWAN RD 202-7 | MIAMI LAKES   | 33016-6473        | 14847 BALGOWAN RD UNIT 202-7    | MIAMI LAKES FL         | 33016-6473       |
| 32-2022-044-0380 | BARAN INVESTMENTS LLC       | 7735 NW 146 ST C-15     | MIAMI LAKES   | 33016-1559        | 5801 NW 151 ST 103              | MIAMI LAKES FL         | 33014            |
| 32-2022-033-0010 | BARBARA BRAVO               | 14817 BALGOWAN RD 101-5 | MIAMI LAKES   | 33016-6471        | 14817 BALGOWAN RD #101-5        | HIALEAH FL             | 33016-6471       |
| 32-2022-034-0010 | BRENO PENICHET &W HANIA     | 14847 BALGOWAN RD 101-7 | MIAMI LAKES   | 33016-6473        | 14847 BALGOWAN RD #101-7        | HIALEAH FL             | 33016-6473       |
| 32-2022-044-0130 | CABO INVEST LLC             | 7765 NW 146 ST ED-1     | MIAMI LAKES   | 33016-1559        | 7765 NW 146 ST #ED-1            | MIAMI LAKES FL         | 33016-1559       |
| 32-2022-036-0100 | CAMILO CRESPO               | 14837 BALGOWAN RD 205-6 | MIAMI LAKES   | 33016-6472        | 14837 BALGOWAN RD STE 205-6     | MIAMI LAKES FL         | 33016            |
| 32-2022-044-0400 | CENTENNIAL MANAGEMENT CORP  | 7735 NW 146 ST C17/18   | MIAMI LAKES   | 33016-1559        | 7735 NW 146 ST 306              | HIALEAH FL             | 33016            |
| 32-2022-004-0900 | CLAUTILDA M DANIEL          | 15045 MONTROSE RD       | MIAMI LAKES   | 33016-6432        | 15045 MONTROSE RD               | MIAMI FL               | 33016-6432       |

|                  |                              |                               |                |            |                                    |                         |            |
|------------------|------------------------------|-------------------------------|----------------|------------|------------------------------------|-------------------------|------------|
| 32-2022-033-0080 | DAISY ABREU<br>MCNELLEY LE   | 14817<br>BALGOWAN RD<br>204-5 | MIAMI<br>LAKES | -          | 14817<br>BALGOWAN RD<br>204 5      | MIAMI LAKES FL          | 33016      |
| 32-2022-030-0050 | DIEGO VALERO LE              | 14725<br>BALGOWAN RD<br>103-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>103-4      | MIAMI LAKES FL          | 33016      |
| 32-2022-036-0050 | ERASMO GARCIA TRS            | 14837<br>BALGOWAN RD<br>103-6 | MIAMI<br>LAKES | 33016-6472 | 5601 SW 103 CT                     | MIAMI FL                | 33173      |
| 32-2022-034-0030 | ESPERANZA GARCIA<br>TRS      | 14847<br>BALGOWAN RD<br>102-7 | MIAMI<br>LAKES | 33016-6473 | 14847<br>BALGOWAN RD<br>#102 7     | MIAMI LAKES FL          | 33016      |
| 32-2022-035-0010 | FERNANDO<br>MARTINEZ &W      | 14827<br>BALGOWAN RD          | MIAMI<br>LAKES | 33016-6474 | 14827<br>BALGOWAN RD               | MIAMI LAKES FL          | 33016-6474 |
| 32-2022-006-0080 | GATOR MIAMI LAKES<br>LLC     | 7850 NW 146 ST                | MIAMI<br>LAKES | 33016-1564 | 1595 NE 163 ST                     | NORTH MIAMI BEACH<br>FL | 33162      |
| 32-2022-044-0090 | GEI ENTERPRISES<br>LLC       | 7761 NW 146 ST<br>G1          | MIAMI<br>LAKES | 33016-1559 | 7761 NW 146 ST<br>G1               | MIAMI LAKES FL          | 33016      |
| 32-2022-035-0060 | GERARDO CALVO                | 14827<br>BALGOWAN RD<br>203-8 | MIAMI<br>LAKES | 33016-6474 | 15822 NW 79 CT                     | MIAMI LAKES FL          | 33016      |
| 32-2022-030-0010 | GL 12 LLC                    | 14725<br>BALGOWAN RD<br>101-4 | MIAMI<br>LAKES | 33016-6470 | 300 BAYVIEW<br>DR 606              | SUNNY ISLES BEACH<br>FL | 33160      |
| 32-2022-044-0190 | GUTIERREZ REAL<br>ESTATE INC | 7779 NW 146 ST<br>ED-7        | MIAMI<br>LAKES | 33016-1559 | 7779 NW 146 ST<br>#7 & 8 BLDG ED   | MIAMI LAKES FL          | 33016-1559 |
| 32-2022-044-0120 | HUMMINGBIRD 2011<br>LLC      | 7755 NW 146 ST<br>G4          | MIAMI<br>LAKES | 33016-1559 | 7755 NW 146 ST<br>G4               | HIALEAH FL              | 33016      |
| 32-2022-044-0080 | HWC INC                      | 7751 NW 146 ST<br>F4          | MIAMI<br>LAKES | 33016-1559 | 7745 NW 146 ST                     | HIALEAH FL              | 33016-1559 |
| 32-2022-036-0030 | IVAN EDUARDO<br>MARCANO      | 14837<br>BALGOWAN RD<br>102-6 | MIAMI<br>LAKES | 33016-6472 | 14837<br>BALGOWAN RD<br>#102-6     | MIAMI LAKES FL          | 33016      |
| 32-2022-033-0070 | IVETTE I<br>ANTONMATTEI      | 14817<br>BALGOWAN RD<br>104-5 | MIAMI<br>LAKES | 33016-6471 | 14817<br>BALGOWAN RD<br>#104-5     | HIALEAH FL              | 33016-6471 |
| 32-2022-036-0070 | IVONNE ANDRES                | 14837<br>BALGOWAN RD<br>104-6 | MIAMI<br>LAKES | 33016-6472 | 14837<br>BALGOWAN RD<br>104 6      | MIAMI LAKES FL          | 33016      |
| 32-2022-033-0030 | JOHN J COLLINS &W<br>MARY    | 14817<br>BALGOWAN RD<br>102-5 | MIAMI<br>LAKES | 33016-6471 | 14817<br>BALGOWAN RD<br>UNIT 102-5 | MIAMI LAKES FL          | 33016-6471 |

|                  |  |                               |                |            |                                    |                       |            |
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| 32-2022-030-0060 | JOHN L LYONS JR &W<br>VICKI D          | 14725<br>BALGOWAN RD<br>203-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>UNIT 203-4 | MIAMI LAKES FL        | 33016-6470 |
| 32-2022-044-0390 | JOHN LONDONO                           | 7735 NW 146 ST<br>C-16        | MIAMI<br>LAKES | 33016-1559 | 3257 NW 102nd<br>Path              | Miami FL              | 33172-5040 |
| 32-2022-030-0030 | JOSE GONZALEZ                          | 14725<br>BALGOWAN RD<br>102-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>102-4      | HIALEAH FL            | 33016      |
| 32-2022-034-0050 | JOSE RAMON GARCIA<br>&W CARIDAD        | 14847<br>BALGOWAN RD<br>102-7 | MIAMI<br>LAKES | 33016-6473 | 14847<br>BALGOWAN RD<br>#102-7     | MIAMI FL              | 33016-6473 |
| 32-2022-044-0150 | JUAN DE DIOS<br>GARCIA                 | 7769 NW 146 ST<br>ED-3        | MIAMI<br>LAKES | 33016-1559 | 7769 NW 146 ST                     | MIAMI LAKES FL        | 33016-1559 |
| 32-2022-030-0100 | JUAN FAJET &W<br>NERELYS               | 14725<br>BALGOWAN RD<br>102-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>102-4      | HIALEAH FL            | 33016-6470 |
| 32-2022-034-0020 | JULIO AYES SR &W<br>MAELIA             | 14847<br>BALGOWAN RD<br>201-7 | MIAMI<br>LAKES | 33016-6473 | 8315 NW 144<br>TERR                | MIAMI LAKES FL        | 33016-5747 |
| 32-2022-036-0020 | LF FAMILY<br>MANAGEMENT<br>COMPANY LLC | 14837<br>BALGOWAN RD<br>201-6 | MIAMI<br>LAKES | 33016-6472 | 6532 MIAMI<br>LAKES DR             | MIAMI LAKES FL        | 33014      |
| 32-2022-044-0350 | LUIS DE GONGORA<br>&W CECILIA S        | 7735 NW 146 ST<br>C-12        | MIAMI<br>LAKES | 33016-1559 | 7800 NW 161<br>TERR                | MIAMI FL              | 33016-6677 |
| 32-2022-044-0430 | M&S REAL PROPERTY<br>HOLDINGS LLC      | 7735 NW 146 ST<br>C-22        | MIAMI<br>LAKES | 33016-1559 | 7735 NW 146 ST<br>#C21             | MIAMI LAKES FL        | 33016      |
| 32-2022-044-0440 | MANUEL DINER TR                        | 7735 NW 146 ST<br>C-23        | MIAMI<br>LAKES | 33016-1559 | 16101 SW 67 ST                     | FT LAUDERDALE FL      | 33331      |
| 32-2022-030-0040 | MARIA DEL PILAR<br>IGLESIAS            | 14725<br>BALGOWAN RD<br>202-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>202 4      | MIAMI LAKES FL        | 33014      |
| 32-2022-004-0890 | MARIA DOLORES<br>MEDINA                | 8289 BALGOWAN<br>RD           | MIAMI<br>LAKES | 33016-1438 | 8289<br>BALGOWAN RD                | MIAMI LAKES FL        | 33016-1438 |
| 32-2022-033-0050 | MARLENE E & LETICIA<br>D MERA          | 14817<br>BALGOWAN RD<br>103-5 | MIAMI<br>LAKES | 33016-6471 | 14817<br>BALGOWAN RD<br>#103-5     | MIAMI FL              | 33016-6471 |
| 32-2022-044-0030 | MIAMI SOD CO                           | 7787 NW 146 ST<br>B3          | MIAMI<br>LAKES | 33016-1559 | 7791 NW 146 ST<br>#3B              | MIAMI LAKES FL        | 33016-1567 |
| 32-2022-005-0041 | MIAMI-DADE COUNTY                      | 7805 OAK LN                   | MIAMI<br>LAKES | 33016-0000 | 3071 SW 38 AVE                     | MIAMI FL              | 33146-1520 |
| 32-2022-044-0110 | MIARZA GROUP<br>DAVIE LLC              | 7757 NW 146 ST<br>G3          | MIAMI<br>LAKES | 33016-1559 | 13100 MUSTANG<br>TRAIL             | FORT LAUDERDALE<br>FL | 33330      |
| 32-2022-036-0010 | MICHELE S SKOLNICK                     | 14837<br>BALGOWAN RD<br>101-6 | MIAMI<br>LAKES | 33016-6472 | 14837<br>BALGOWAN RD<br>#101-6     | MIAMI FL              | 33016-6472 |

|                  |                                       |                               |                |            |                                    |                   |            |
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| 32-2022-030-0020 | MIRIAM N ABREU &H JOSE                | 14725<br>BALGOWAN RD<br>201-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>#201-4     | MIAMI LAKES FL    | 33016-6470 |
| 32-2022-033-0020 | MIYUNG YOON                           | 14817<br>BALGOWAN RD<br>201-5 | MIAMI<br>LAKES | 33016-6471 | 14817<br>BALGOWAN RD<br>#201-5     | MIAMI LAKES FL    | 33016      |
| 32-2022-044-0140 | MS INVESTMENT<br>SERVICES LLC         | 7767 NW 146 ST<br>ED-2        | MIAMI<br>LAKES | 33016-1559 | 7767 NW 146 ST<br>#ED 2            | MIAMI FL          | 33016      |
| 32-2022-030-0070 | NORMA CERECEDO<br>(LE)                | 14725<br>BALGOWAN RD<br>104-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>#104-4     | MIAMI LAKES FL    | 33016-6470 |
| 32-2022-036-0040 | OLGA PILOTO                           | 14837<br>BALGOWAN RD<br>202-6 | MIAMI<br>LAKES | 33016-6472 | 14837<br>BALGOWAN RD<br>UNIT 202-6 | MIAMI LAKES FL    | 33016-6472 |
| 32-2022-035-0070 | PEDRO H PEREZ LE                      | 14827<br>BALGOWAN RD<br>104-8 | MIAMI<br>LAKES | 33016-6474 | 14827<br>BALGOWAN RD<br>#104-8     | MIAMI LAKES FL    | 33016-6474 |
| 32-2022-035-0080 | PETER NICOLOSI &W                     | 14827<br>BALGOWAN RD<br>204-8 | MIAMI<br>LAKES | 33016-6474 | 14827<br>BALGOWAN RD<br>#204-8     | MIAMI LAKES FL    | 33016-6474 |
| 32-2022-033-0060 | RAISA RIVADENEIRA                     | 14817<br>BALGOWAN RD<br>203-5 | MIAMI<br>LAKES | 33016-6471 | 14817<br>BALGOWAN RD<br>#203-5     | MIAMI LAKES FL    | 33016-6471 |
| 32-2022-030-0090 | RB GEYER LLC                          | 14725<br>BALGOWAN RD<br>105-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>#204       | MIAMI LAKES FL    | 33016      |
| 32-2022-035-0030 | RENE M CAMBERT<br>&W                  | 14827<br>BALGOWAN RD<br>102-8 | MIAMI<br>LAKES | 33016-6474 | 15521 NW 83<br>AVE                 | MIAMI LAKES FL    | 33016-5833 |
| 32-2022-036-0060 | RICHARD<br>DOMINGUEZ                  | 14837<br>BALGOWAN RD<br>203-6 | MIAMI<br>LAKES | 33016-6472 | 14837<br>BALGOWAN RD<br>#203-6     | MIAMI LAKES FL    | 33016-6472 |
| 32-2022-044-0270 | ROBERT DEL<br>CASTILLO &W<br>MERCEDES | 7735 NW 146 ST<br>C-4         | MIAMI<br>LAKES | 33016-1559 | 1920 NW 137<br>WAY                 | PEMBROKE PINES FL | 33028      |
| 32-2022-030-0080 | RUSSELL GEYER (JR)<br>&W ELIZABETH    | 14725<br>BALGOWAN RD<br>204-4 | MIAMI<br>LAKES | 33016-6470 | 14725<br>BALGOWAN RD<br>UNIT 204-4 | MIAMI LAKES FL    | 33016-6470 |
| 32-2022-035-0050 | RUTH M FREILE                         | 14827<br>BALGOWAN RD<br>103-8 | MIAMI<br>LAKES | 33016-6474 | 14827<br>BALGOWAN RD<br>#103-8     | MIAMI LAKES FL    | 33016-6474 |
| 32-2022-050-0011 | SENGRA CORP                           | 14901 NW 79 CT                | MIAMI<br>LAKES | 33016-5856 | 6843 MAIN ST                       | MIAMI LAKES FL    | 33014      |
| 32-2022-044-0180 | SHOMAR HOLDINGS<br>INC                | 7777 NW 146 ST<br>ED-6        | MIAMI<br>LAKES | 33016-1559 | 7777 NW 146 ST                     | MIAMI LAKES FL    | 33016-1559 |

|                  |                                       |                               |                |            |                                  |                 |            |
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| 32-2022-034-0060 | STEPHEN J<br>ROBERTSON &W<br>KRISTY J | 14847<br>BALGOWAN RD<br>203-7 | MIAMI<br>LAKES | 33016-6473 | 14847<br>BALGOWAN RD<br>#203-7   | MIAMI LAKES FL  | 33016-6473 |
| 32-2022-036-0120 | SUZANN BORREGO                        | 14837<br>BALGOWAN RD<br>206-6 | MIAMI<br>LAKES | 33016-6472 | 14837<br>BALGOWAN RD<br>#206-6   | MIAMI LAKES FL  | 33016-6472 |
| 32-2022-044-0210 | TAYCOL LLC                            | 7725 NW 146 ST                | MIAMI<br>LAKES | 33016-1559 | 1250 MESSINA<br>AVE              | CORAL GABLES FL | 33134      |
| 32-2022-041-2150 | THE ANCHORAGE AT<br>MIAMI LAKES       | Not Available                 | MIAMI<br>LAKES | 33016-0000 | 14160<br>PALMETTO<br>FRONTAGE RD | HIALEAH FL      | 33016      |
| 32-2022-036-0090 | TRACY ANN<br>TEMPLETON                | 14837<br>BALGOWAN RD<br>105-6 | MIAMI<br>LAKES | 33016-6472 | 6250 SW 130<br>TERR              | MIAMI FL        | 33156      |
| 32-2022-044-0220 | TRI COUNTY<br>ENGINEERING<br>LEASING  | 7729 NW 146 ST                | MIAMI<br>LAKES | 33016-1559 | 7729 NW 146<br>STREET            | HIALEAH FL      | 33016      |
| 32-2022-044-0170 | TRUE INVESTMENT<br>INC                | 7771 NW 146 ST<br>ED-5        | MIAMI<br>LAKES | 33016-1559 | 7771 NW 146 ST                   | HIALEAH FL      | 33016      |
| 32-2022-035-0040 | UMESH JAIN &W<br>SARAH                | 14827<br>BALGOWAN RD<br>202-8 | MIAMI<br>LAKES | 33016-6474 | 12161 SW 2 ST                    | PLANTATION FL   | 33325      |
| 32-2022-022-0020 | WILLIAM A GRAHAM                      | Not Available                 | MIAMI<br>LAKES | 33016-0000 | 6843 MAIN ST                     | MIAMI LAKES FL  | 33014-2048 |



**TOWN OF MIAMI LAKES**  
**PUBLIC NOTICE FOR PUBLIC HEARING**  
**CONSIDERATION OF A RESOLUTION**

RESOLUTION NO. 2024-001  
SUBJECT: [Illegible text]  
DATE: [Illegible text]  
TIME: [Illegible text]  
LOCATION: [Illegible text]

NOTICE IS HEREBY GIVEN that the Town of Miami Lakes will hold a public hearing on the above-captioned resolution at the time and place specified herein. The purpose of the hearing is to receive comments from the public on the proposed resolution.

The hearing will be held on [Illegible date] at [Illegible time] at the [Illegible location].

Any person wishing to comment on the proposed resolution should appear at the hearing and state their comments to the Town Board.

For more information, please contact [Illegible contact information].