



Town of Miami Lakes Memorandum

To: Honorable Mayor and Town Council

From: Alex Rey, Town Manager

Subject: PLAT2016-0008/PHSP2016-0004 Buildings 64 & 65

Date: December 6, 2016

Recommendation:

Staff recommends *approval, subject to conditions* of a request for approval of a Preliminary Plat, and for approval of a Site Plan. Recommended conditions are as follows:

Preliminary Plat Conditions

1. The approval of the preliminary plat shall be in accordance with the copy of the "Tentative Plat of "TGC Building 64 and 65" as submitted for approval to the Town Council and prepared by Schwebke-Shiskin and Associates, Inc. consisting of two (2) sheets and stamped as received by the Town on 11-1-2016.
2. The Applicant shall comply, prior to final plat approval, with all platting requirements of the Town LDC and Chapter 28 of the Miami-Dade County Code.
3. All design and engineering documents, including any required studies, required for public improvements, or Private Street, utility and infrastructure improvements required to meet the standards for public facilities per the LDC, shall be submitted concurrently with the final plat application. All required improvements shall be completed and approved by the Town, per the procedures of the LDC, prior to recording of the final plat.
4. The Applicant shall obtain approval of a final plat in accordance with the Town LDC for the requested preliminary plat, as approved herein, within one year of the date of this approval, unless an extension is granted by the Town Council in accordance with the provisions of Subsection 13-308(f)(5). If a final plat is not obtained within the prescribed time limit, then this approval shall become null and void.
5. No building permit which is dependent upon this plat shall be issued until the final plat is recorded, except as may be allowed by the LDC.

Site Plan Conditions

1. The Applicant shall obtain a Certificate of Use (CU), and Business Tax Receipt (BTR), and promptly renew the BTR annually, upon compliance with all the terms and conditions of this approval, the same subject to cancellation upon violation of any of the conditions.
2. Site Plan approval herein is for those plans shown in Exhibit B.
3. Prior to the issuance of any and all CUs for businesses within the proposed office building, a transportation demand management (TDM) plan particular to said business shall be submitted to and approved by the Administrative Official. In evaluating said TDM plans, the Administrative Official shall be guided by the findings and recommendations of the Commute Trip Reduction Plan (CTRP) and any subsequent updates to the CTRP undertaken by the Town.
4. Prior to the issuance of a building permit authorizing construction of the parking lot, the Applicant shall show on building plans the proposed location of preferred carpool parking in appropriate locations and of an appropriate number considering the size of the building. The Administrative Official may deny issuance of the building permit until

these plans are deemed acceptable. No final zoning inspection shall be approved until the designation of these areas on the site is verified.

5. Vested rights previously granted for "Parcel 18" by Miami-Dade County Developmental Impact Committee (DIC) Order No. MVR-2-00 are hereby reduced by 75,420 square feet, upon the issuance of building permit(s) for construction of the office building as authorized by this site plan approval.
6. No trees shall be removed except in conformance with a tree removal permit issued by the Town.
7. All signs require a separate sign permit.
8. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted within the prescribed time limit, this approval shall become null and void.

Background:

See attached Staff Analysis.

Attachments:

Staff Analysis and Recommendation

Resolution

Exhibit A: Proposed Preliminary Plat

Exhibit B: Proposed Site Plan

Opinion of Title

Backup Materials

RESOLUTION NO. 16-_____

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF MIAMI LAKES, FLORIDA, APPROVING A REQUEST IN ACCORDANCE WITH SUBSECTION 13-308(F)(2) OF THE LAND DEVELOPMENT CODE FOR A PRELIMINARY PLAT ENTITLED “TGC BUILDING 64 AND 65”, APPROVING A SITE PLAN IN ACCORDANCE WITH SECTION 13-304 OF THE LAND DEVELOPMENT CODE, SUBMITTED FOR PROPERTY LOCATED AT THE SOUTHWEST CORNER OF COMMERCE WAY AND NW 82ND AVENUE, MIAMI LAKES, FLORIDA, IN THE IU-C ZONING DISTRICT; PROVIDING FINDINGS; PROVIDING FOR APPROVAL; PROVIDING FOR CONDITIONS; PROVIDING FOR VIOLATION OF CONDITIONS; PROVIDING FOR APPEAL; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, pursuant to Subsection 13-308(f)(2) and Section 13-304 of the Town of Miami Lakes (“Town”) Land Development Code (“LDC”), TGC BPW South, LLC (the “Applicant”) has applied to the Town for approval of a Preliminary Plat, a copy of the Plat being attached hereto as **Exhibit “A”** and incorporated herein by reference (“Preliminary Plat”), and for approval of a Site Plan, a copy of the Site Plan being attached hereto as **Exhibit “B”**, for property generally located at the southwest corner of Commerce Way and NW 82nd Avenue, Miami-Dade Tax Folio No. 32-2022-001-0530 (“Property”), as legally described in **Exhibit “C”**, and containing approximately 5.308 acres of land; and

WHEREAS, Subsection 13-308(f)(2) of the Town LDC sets forth the authority of the Town Council to consider and act upon an application for a preliminary plat; and

WHEREAS, Section 13-304 of the Town LDC sets forth the authority of the Town Council to consider and act upon the subject application for a site plan approval; and

WHEREAS, in accordance with Section 13-309 of the Town LDC, proper notice was mailed to the appropriate property owners of record, the property was posted as required and the hearing was duly advertised in the newspaper; the public hearing on the Preliminary Plat was noticed for Tuesday, December 6, 2016, at 6:30 P.M. at Town Hall, 6601 Main Street, Miami Lakes, Florida; and all interested parties have had the opportunity to address their comments to the Town Council; and

WHEREAS, Town staff has reviewed the application and recommends approval subject to conditions, of the request for Preliminary Plat Approval, and approval subject to conditions of the request for Site Plan Approval, as set forth in the Town of Miami Lakes Staff Analysis and Recommendation, a copy of which is on file in the Town of Miami Lakes Clerk's Office and incorporated into this Resolution by reference.

WHEREAS, the Director of Planning, acting as the Administrative Official, has determined that the Applicant has met the conditions and prerequisites imposed in Section 13-308 of the LDC; and

WHEREAS, the Town Council, in accordance with Section 13-308(f)(2)(c)(3) has considered the physical characteristics of the property, the availability of community services, traffic impact, economic impacts, appropriateness of the type and intensity of the proposed development, existing and future development, existing and future development patterns, compliance with land development regulations, relationship of the project to the capital improvements program; and other such factors as may relate to the Comprehensive Plan or elements thereof; and

WHEREAS, the Town Council has considered the written recommendations of staff, any other reviewing agencies, and presentations by the public.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE
TOWN OF MIAMI LAKES, FLORIDA, AS FOLLOWS:**

Section 1. Recitals. The above Recitals are true and correct and incorporated herein by this reference.

Section 2. Findings.

In accordance with Section 13-308(f)(2), the Town Council finds that the application meets the criteria for a preliminary plat approval which are as follows:

1. Physical characteristics of the property; and
2. The availability of community services; and
3. Traffic impact; and
4. Economic impacts; and
5. Appropriateness of the type and intensity of the proposed development; and
6. Existing and future development; and
7. Existing and future development patterns; and
8. Compliance with land development regulations; and
9. Relationship of the project to the capital improvements program; and
10. Other such factors as may relate to the Comprehensive Plan or elements thereof.

In accordance with Subsection 13-304(h), the Town Council finds that the Application does meet the criteria for Site Plan Approval which are as follows:

1. In what respects the plan is or is not consistent with the Comprehensive Plan, the purpose and intent of the zoning district in which it is located and any design or planning studies adopted by the Town Council that include recommendations applicable to the design of the site under review.
2. In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.
3. In what respects the plan is or is not in conformance with the Town requirements including the design and construction of streets, utility facilities and other essential services.
4. In what respects the plan is or is not consistent with good design standards in respect to all external relationships including but not limited to:
 - a. Relationship to adjoining properties, including the arrangement of buildings and landscape to produce spatial relationships that are compatible with, and complementary to, the development and zoning in adjoining areas.

- b. Internal and external circulation, including vehicular, bicycle and pedestrian. Circulation systems shall serve the needs of the development and be compatible with, and functionally integrate with, circulation systems outside the development. Vehicular traffic from nonresidential development shall be routed so as to minimize impacts on residential development.
 - c. Disposition of open space, use of screening or buffering where appropriate to provide a logical transition to existing, permitted or planned uses on adjoining properties.
 - d. Landscaping that enhances architectural features, strengthens vista and important axes, provides shade, blocks noise generated by major roadways and intense-use areas and, to the maximum extent practicable, preserves existing trees on-site.
 - e. Appropriate scale of proposed structures to be compatible with and complementary to existing, permitted or planned uses on adjoining properties and in the immediate area.
 - f. All outdoor lighting, signs or permanent outdoor advertising or identification features shall be designed as an integral part of and be harmonious with building design and the surrounding landscape.
 - g. Service areas which may be provided shall be screened and so located as not to be visible from the public right-of-way and other properties.
 - h. Design of the site shall ensure adequate access for emergency vehicles and personnel.
 - i. Design of the site shall utilize strategies to provide for the conservation of energy and natural resources, including water.
5. In what respects the plan is or is not in conformance with the Town policy in respect to sufficiency of ownership, guarantee for completion of all required improvements and the guarantee for continued maintenance.

Section 3. Approval. The Preliminary Plat is hereby approved, subject to conditions as set out in Section 4. The Site Plan is hereby approved, subject to conditions as set out in Section 5.

Section 4. Conditions of Preliminary Plat Approval. The Town Council approved the Preliminary Plat in Section 3, subject to the following conditions:

1. The approval of the preliminary plat shall be in accordance with the copy of the “Tentative Plat of “TGC Building 64 and 65” as submitted for approval to the Town Council and prepared by Schwebke-Shiskin and Associates, Inc. consisting of two (2) sheets and stamped as received by the Town on 11-1-2016.

2. The Applicant shall comply, prior to final plat approval, with all platting requirements of the Town LDC and Chapter 28 of the Miami-Dade County Code.
3. All design and engineering documents, including any required studies, required for public improvements, or Private Street, utility and infrastructure improvements required to meet the standards for public facilities per the LDC, shall be submitted concurrently with the final plat application. All required improvements shall be completed and approved by the Town, per the procedures of the LDC, prior to recording of the final plat.
4. The Applicant shall obtain approval of a final plat in accordance with the Town LDC for the requested preliminary plat, as approved herein, within one year of the date of this approval, unless an extension is granted by the Town Council in accordance with the provisions of Subsection 13-308(f)(5). If a final plat is not obtained within the prescribed time limit, then this approval shall become null and void.
5. No building permit which is dependent upon this plat shall be issued until the final plat is recorded, except as may be allowed by the LDC.

Section 5. Conditions of Site Plan Approval. The Town Council approved the Site Plan in Section 3, subject to the following conditions:

1. The Applicant shall obtain a Certificate of Use (CU), and Business Tax Receipt (BTR), and promptly renew the BTR annually, upon compliance with all the terms and conditions of this approval, the same subject to cancellation upon violation of any of the conditions.
2. Site Plan approval herein is for those plans shown in Exhibit B.
3. Prior to the issuance of any and all CUs for businesses within the proposed office building, a transportation demand management (TDM) plan particular to said business

shall be submitted to and approved by the Administrative Official. In evaluating said TDM plans, the Administrative Official shall be guided by the findings and recommendations of the Commute Trip Reduction Plan (CTRP) and any subsequent updates to the CTRP undertaken by the Town.

4. Prior to the issuance of a building permit authorizing construction of the parking lot, the Applicant shall show on building plans the proposed location of preferred carpool parking in appropriate locations and of an appropriate number considering the size of the building. The Administrative Official may deny issuance of the building permit until these plans are deemed acceptable. No final zoning inspection shall be approved until the designation of these areas on the site is verified.
5. Vested rights previously granted for “Parcel 18” by Miami-Dade County Developmental Impact Committee (DIC) Order No. MVR-2-00 are hereby reduced by 75,420 square feet, upon the issuance of building permit(s) for construction of the office building as authorized by this site plan approval.
6. No trees shall be removed except in conformance with a tree removal permit issued by the Town.
7. All signs require a separate sign permit.
8. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted within the prescribed time limit, this approval shall become null and void.

Section 6. Violation of Conditions. Failure to adhere to the terms and conditions of this Resolution shall be considered a violation of the Town LDC and persons found violating the conditions shall be subject to the penalties prescribed by the Town LDC, including but not limited

to, the revocation of any of the approval(s) granted in this Resolution. The Applicant understands and acknowledges that it must comply with all other applicable requirements of the Town LDC before it may commence operation, and that the foregoing approval in this Resolution may be revoked by the Town at any time upon a determination that the Applicant is in non-compliance with the Town LDC.

Section 7. Appeal. In accordance with Section 13-310 of the Town LDC, the Applicant of any affected party may appeal this decision by filing of a notice of appeal in accordance with the Florida Rules of Appellate Procedure.

Section 8. Effective Date. This Resolution shall take effect immediately.

PASSED AND ADOPTED this 6th day of December, 2016.

Motion to adopt by _____, second by _____.

FINAL VOTE AT ADOPTION

Mayor Manny Cid	_____
Vice Mayor Tim Daubert	_____
Councilmember Luis Collazo	_____
Councilmember Tony Lama	_____
Councilmember Ceasar Mestre	_____
Councilmember Frank Mingo	_____
Councilmember Nelson Rodriguez	_____

Manny Cid
MAYOR

Attest:

Approved as to Form and Legal Sufficiency

Gina Inguanzo
TOWN CLERK

Raul Gastesi
TOWN ATTORNEY

Exhibit A
Preliminary Plat

Exhibit B

Site Plan

Exhibit C

Legal Description

A PORTION OF TRACTS 5, 6 AND 24 IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST AS SHOWN ON THE PLAT OF "CHAMBERS LAND COMPANY SUBDIVISION," AS RECORDED IN PLAT BOOK 2 AT PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF TRACT "F", "MIAMI LAKES BUSINESS PARK SECTION TWO", AS RECORDED IN PLAT BOOK 156 AT PAGE 68, IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTH 02 DEGREES 13 MINUTES 40 SECONDS WEST FOR 295.60 FEET TO A POINT OF CURVATURE; THENCE NORTHERLY AND NORTHWESTERLY ALONG A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 87 DEGREES 40 MINUTES 43 SECONDS FOR AN ARC DISTANCE OF 38.26 FEET TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 645.09 FEET; (SAID LAST THREE COURSES BEING ALONG THE WEST RIGHT-OF-WAY LINE FOR N. W. 82ND AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF COMMERCE WAY AS SHOWN ON THE PLAT OF "MIAMI LAKES BUSINESS PARK 22-2", AS RECORDED IN PLAT BOOK 149 AT PAGE 15, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA); THENCE SOUTH 0 DEGREES 05 MINUTES 37 SECONDS WEST FOR 36.00 FEET; THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 55.00 FEET; (SAID LAST TWO COURSES BEING ALONG THE EASTERLY AND SOUTHERLY LINES OF TRACT "D" OF THE SAID PLAT OF "MIAMI LAKES BUSINESS PARK 22-2"); THENCE SOUTH 0 DEGREES 05 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF THE PLAT OF "LAKE HOUSE APARTMENTS", AS RECORDED IN PLAT BOOK 168 AT PAGE 27 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR 283.34 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 23 SECONDS EAST ALONG THE NORTH LINE OF THE AFORESAID TRACT "F", "MIAMI LAKES BUSINESS PARK SECTION TWO" FOR 737.04 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN THE TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA.

MIAMI-DADE COUNTY, FLORIDA, TAX FOLIO NO.'S 32-2022-001-0530 AND 32-2022-001-0650



Department of Planning, Zoning and Code Compliance
6601 Main Street • Miami Lakes, Florida 33014
Office: (305) 364-6100 • Fax: (305) 558-8511
Website: www.miamilakes-fl.gov

Staff Analysis and Recommendation

To: Honorable Mayor and Members of the Town Council

From: Alex Rey, Town Manager

Subject: **HEARING NUMBER:** PLAT2016-0008 / PHSP2016-0004
APPLICANT: TGC BPW South, LLC
FOLIO: 32-2022-001-0530
LOCATION: Southwest corner of Commerce Way and NW 82nd Avenue
ZONING DISTRICT: IU-C Industrial District Conditional
FUTURE LAND USE: Industrial and Office (IO)

Date: December 6, 2016

REQUEST

TGC BPW, LLC (the "Applicant") is requesting the following:

1. In accordance with Subsection 13-308(f)(2) of the Land Development Code (LDC), preliminary plat approval in order to re-plat existing portions of tracts to create a new plat with one tract of land.
2. In accordance with Section 13-204 of the LDC, Site Plan Approval to construct a one-story, 36,720 square foot warehouse/office building, a one-story, 38,700 square foot warehouse/office building and associated improvements.

RECOMMENDATION

Request #1: It is recommended that the Town Council approve the application for Preliminary Plat approval, subject to the following conditions:

1. The approval of the preliminary plat shall be in accordance with the copy of the "Tentative Plat of "TGC Building 64 and 65" as submitted for approval to the Town Council and prepared by Schwebke-Shiskin and Associates, Inc. consisting of two (2) sheets and stamped as received by the Town on 11-1-2016.
2. The Applicant shall comply, prior to final plat approval, with all platting requirements of the Town LDC and Chapter 28 of the Miami-Dade County Code.
3. All design and engineering documents, including any required studies, required for public improvements, or Private Street, utility and infrastructure improvements required to meet the standards for public facilities per the LDC, shall be submitted concurrently with the final

plat application. All required improvements shall be completed and approved by the Town, per the procedures of the LDC, prior to recording of the final plat.

4. The Applicant shall obtain approval of a final plat in accordance with the Town LDC for the requested preliminary plat, as approved herein, within one year of the date of this approval, unless an extension is granted by the Town Council in accordance with the provisions of Subsection 13-308(f)(5). If a final plat is not obtained within the prescribed time limit, then this approval shall become null and void.
5. No building permit which is dependent upon this plat shall be issued until the final plat is recorded, except as may be allowed by the LDC.

Request #2: It is recommended that the Town Council approve the application for Site Plan approval, subject to the following conditions:

1. The Applicant shall obtain a Certificate of Use (CU), and Business Tax Receipt (BTR), and promptly renew the BTR annually, upon compliance with all the terms and conditions of this approval, the same subject to cancellation upon violation of any of the conditions.
2. Site Plan approval herein is for those plans shown in Exhibit B.
3. Prior to the issuance of any and all CUs for businesses within the proposed office building, a transportation demand management (TDM) plan particular to said business shall be submitted to and approved by the Administrative Official. In evaluating said TDM plans, the Administrative Official shall be guided by the findings and recommendations of the Commute Trip Reduction Plan (CTRP) and any subsequent updates to the CTRP undertaken by the Town.
4. Prior to the issuance of a building permit authorizing construction of the parking lot, the Applicant shall show on building plans the proposed location of preferred carpool parking in appropriate locations and of an appropriate number considering the size of the building. The Administrative Official may deny issuance of the building permit until these plans are deemed acceptable. No final zoning inspection shall be approved until the designation of these areas on the site is verified.
5. Vested rights previously granted for "Parcel 18" by Miami-Dade County Developmental Impact Committee (DIC) Order No. MVR-2-00 are hereby reduced by 75,420 square feet, upon the issuance of building permit(s) for construction of the office building as authorized by this site plan approval.
6. No trees shall be removed except in conformance with a tree removal permit issued by the Town.
7. All signs require a separate sign permit.
8. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted within the prescribed time limit, this approval shall become null and void.

Background

Zoning District of Property: **IU-C Industrial District Conditional**

Future Land Use Designation: **Industrial and Office (IO)**

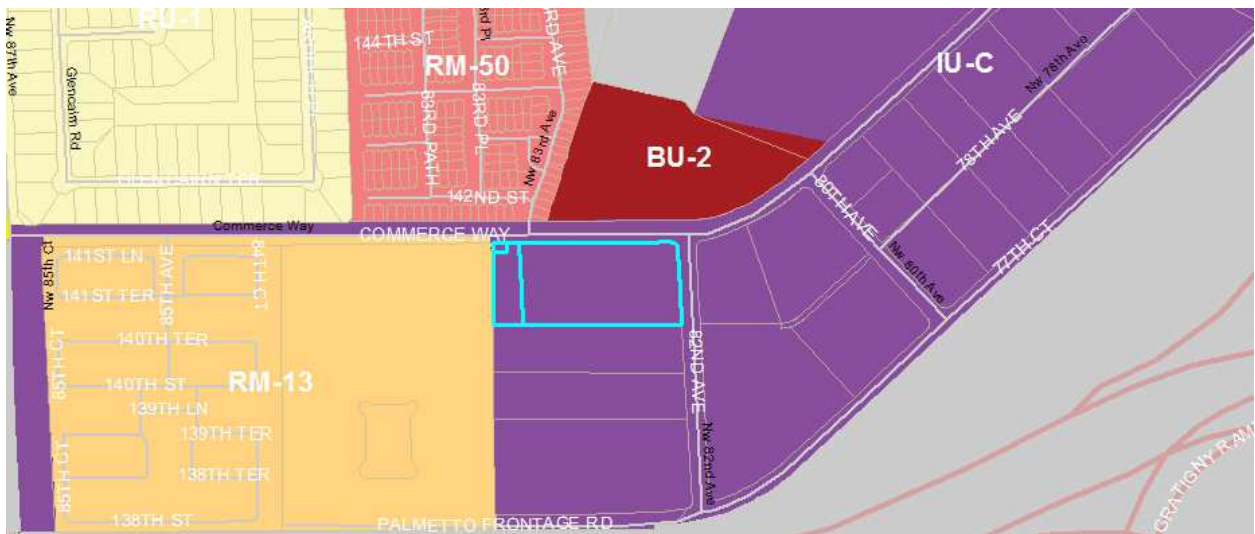
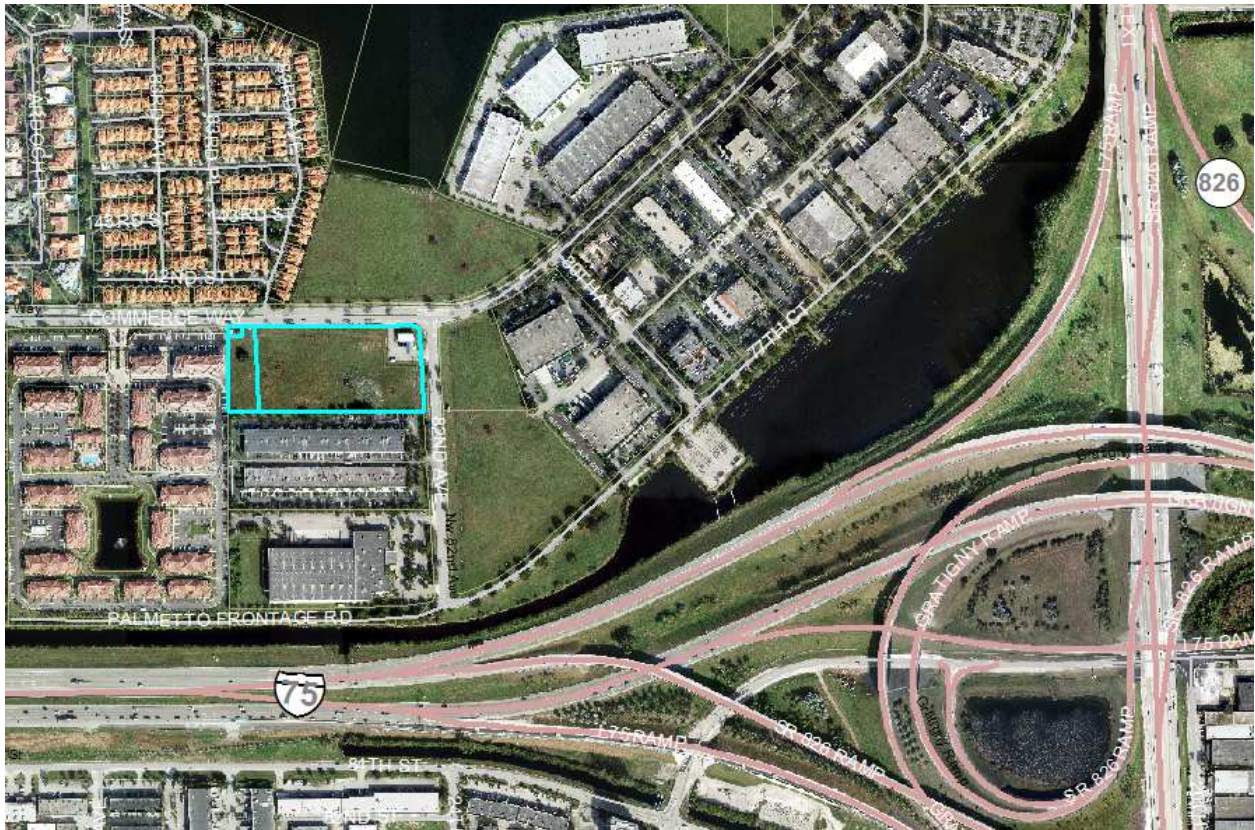
Subject Property:

The subject property is a portion of a larger parcel located on the West side of Commerce Way and South side of Governor's Blvd, which is currently vacant and used as agricultural. The existing property is 14.62 Acres of vacant land with 1.23 Acres of submerged land. It is currently zoned IU-C, and the future land use is Industrial and Office.

Surrounding Property:

	Land Use Designation	Zoning District
North:	INDUSTRIAL AND OFFICE (IO)	IU-C industrial district conditional
South:	INDUSTRIAL AND OFFICE (IO)	IU-C industrial district conditional
East:	INDUSTRIAL AND OFFICE (IO)	IU-C industrial district conditional
Southeast:	INDUSTRIAL AND OFFICE (IO)	IU-C industrial district conditional
West:	INDUSTRIAL AND OFFICE (IO)	IU-C industrial district conditional

Subject Property Location Map:



SUMMARY OF PROPOSAL AND STAFF ANALYSIS

Summary

The Applicant is requesting preliminary plat approval in order create a plat with one tract of land. As proposed, the resulting plat is 5.308 acres, with a frontage of 645.09 feet on Commerce Way and approximately 295.6 feet on NW 82nd Avenue (See proposed Preliminary Plat in Exhibit A).

The Applicant has also requested a site plan approval to construct a two one-story warehouse/office buildings, one of which would include 31,720 square feet of warehouse and 5,000 square feet of office (36,720 square feet total) and the other of which would include 33,700 square feet of warehouse and 5,000 square feet of office (38,700 square feet total), 164 off-street parking spaces and associated improvements on a three 5.3 acre site to be created by the preliminary plat discussed above. (See proposed Site Plan in Exhibit B).

Preliminary Plat Analysis

Subsection 13-308(f)(2)c.2 provides that

The Town Council may consider [1] the physical characteristics of the property, [2] the availability of community services, [3] traffic impact, [4] economic impacts, [5] appropriateness of the type and intensity of the proposed development, [6] existing and future development, [7] existing and future development patterns, [8] land development regulations, [9] relationship of the project to the capital improvements program, or [10] other such factors as may relate to the Comprehensive Plan or elements thereof.

1. Physical characteristics of the property.

The physical characteristics of the property are appropriate for the office building development proposed and which is facilitated by this preliminary plat application. The proposed use would be of the same nature as nearby properties with similar or substantially the same uses, on land with substantially the same physical characteristics.

2. The availability of community services.

The Applicant has satisfied all concurrency and public facility availability requirements for preliminary plat stage of development review. Sufficient controls are in place to ensure that development may not proceed without demonstrating availability of all services or guaranteeing such availability.

3. Traffic impact.

The subject property has existing concurrency vesting, which reflects the infrastructure investments previously made by the applicant, sufficient to allow for the proposed development program. These vested rights include consideration of traffic impact.

4. Economic impacts.

The proposed plat will have substantial economic impacts, such as economic activity generated by construction of a new office building, increased value of the subject site and thus greater tax revenue and economic activity generated by additional warehouse and office space.

5. Appropriateness of the type and intensity of the proposed development.

The proposed tract of land for two new warehouse/office buildings is appropriate for the use, the existing IU-C zoning, and the proposed use on this tract of land, and is consistent with similar buildings and properties in the immediately surrounding neighborhood. Similar uses exist immediately to the south of the subject property, which are also zoned IU-C.

6. Existing and future development.

Impacts of the proposed development in the area were considered as part of the site plan review process, and staff has determined that all requirements would be met. The proposed development will be consistent with and similar to the existing surrounding neighborhood, as described in the staff report for Public Hearing Site Plan PHSP2016-0017, proposed for this site.

7. Existing and future development patterns.

The proposed subdivision of land will allow consistency with the land's future land use and zoning designations. The adjacent commercially designated land is the most likely to be impacted by the development pattern established via this plat, which is itself driven for approval by the administrative site plan review.

8. Land development regulations.

The proposed preliminary plat meets all of the platting regulations in the LDC, and all requirements of its IU-C Zoning District and other applicable portions of the LDC. Though at first glance it appears that the application does not meet the requirements of Section 13-726, which states that "No application for zoning of a tract of land for IU-C or for the platting thereof shall be permitted unless such tract consist of at least ten acres of land ..." and provides a minimum frontage and depth for a "Tract" at 330 feet for each, Staff has determined that this is not the applicable requirement, for the following reasons: at Section 13-738 (which, like Section 13-726, is part of the IU-C zoning district) the Code states that "Multiple industrial uses, and platting into lots in the form of industrial park development, or waiver of plat to subdivide into lots where such tract has been platted, shall be permitted on the minimum tract described herein, subject to compliance with all applicable requirements of this chapter, and except that such lots shall have a minimum frontage of 125 feet, and a minimum depth of 150 feet." This suggests that the 10 acre minimum size and 330 feet minimum dimensions applies only to applications for new IU-C zoning or for the original platting of land for IU-C uses, and that the 125 foot minimum frontage and 150 foot minimum depth applies where a new lot configuration is requested within a larger IU-C area, particularly in the case of a replat as opposed to an original plat, both of which are the case with this application. Further support for this position is given by the approval of several plats creating smaller lot sizes than the subject application since the Town's incorporation and where IU-C zoning was in place at the time (and the same requirements were in effect), including instances where Miami-Dade County staff was serving as Town zoning staff in the years immediately after incorporation. One such plat is the Storsafe at Miami Lakes plat (PB 162, PG 14), where tract sizes of 1.46 acres and 1.00 acres were created, and where the 125 foot minimum frontage and 150 foot minimum depth per Section 13-738 were met, but the larger dimensional requirements of Section 13-726 were not. Compliance with additional LDC requirements will be ensured through the site plan review, final plat and permitting processes, as applicable. In short, the dimensional requirements of Section 13-738 are the applicable requirement, and those requirements have been met.

9. Relationship of the project to the capital improvements program.

All capital improvements for which the Town is responsible necessary to serve the proposed development are already available, or will be constructed/provided by the property owner/developer. The County's tentative plat approval process (which follows preliminary plat approval by the Town) will include evaluation as to whether additional improvements may be necessary to those facilities for which the county is responsible.

10. Other such factors as may relate to the Comprehensive Plan or elements thereof.

The development that will be facilitated by the requested plat approval is consistent with the industrial and office (IO) future land use designation assigned this site by the Town's Comprehensive Plan. The application is not contrary to any goal, objective or policy in any element of the Town's Comprehensive Plan.

Site Plan Analysis

Subsection 13-304(h) provides specific criteria for review of a site plan. These criteria are listed below, with Staff Comments for each:

- (1) In what respects the plan is or is not consistent with the Comprehensive Plan, the purpose and intent of the zoning district in which it is located and any design or planning studies adopted by the Town Council that include recommendations applicable to the design of the site under review.

Staff Comment: This proposal is consistent with Comprehensive Plan Future Land Use Element Policy 1.1.2, and the Industrial and Office (IO) future land use designation described in said policy.

Section 13-719 of the Town LDC states the following "Purpose and intent" of the Industrial Use-Conditional (IU-C) zoning district:

The IU-C District shall be applied only to those lands that appropriately may be used and utilized for the development, construction and operation of large industrial projects and industrial park development of the nature, type and character commensurate with the public health, safety, comfort, convenience, and the general welfare of the Town. It is intended that this district shall be utilized to provide an adequate reservoir of lands suited for the needs and requirements of large industries, and industrial park developments, to the end that desirable industrial concerns may be attracted to this area. It is intended, however, that this district shall not be used indiscriminately, so as to permit any industrial use which might be offensive or obnoxious by reason of the emanation of odors, gases, dust, noise or vibration, pollution of air or water, or otherwise detrimental to the general welfare of this community; but that it shall be restricted and confined to only those large industrial uses and industrial park type developments which produce a net gain to the community. It is recognized that the rapid development of new and different industrial uses and

operations makes it impossible and impractical to accurately enumerate those which would be beneficial or detrimental to the welfare of this community. Therefore, the intent and purpose for the establishment of this district is expressly set forth, and standards set forth for the use of lands embraced within this district.

Much of this purpose and intent speaks to the application of the IU-C district, in other words the rezoning of land to the district, whereas in this case the subject property is currently zoned IU-C, and the Applicant seeks development consistent with the IU-C district's requirements. While multifamily residential uses exist immediately to the east of the subject site, these uses were developed with the existing IO Comprehensive Plan designation and existing IU-C zoning district of the subject property already in place (and in fact the residential property was rezoned from IU-C in order to develop the residential uses). Further, a significant landscaped buffer on both properties will minimize negative impacts to the residential property, as will the design of the subject site, which will face the truck staging area for warehouse uses inward toward the middle of the site and away from the residential. The closest uses on the subject property to the residential (aside from landscaping) will be off-street vehicular parking for cars (i.e. not for large trucks). Additionally, as noted, the proposed use is similar to existing light industrial uses to the south, which also directly border the multifamily residential property.

There are no design or planning studies with direct applicability to the design of the subject site. The Greenways and Trails Master Plan identifies the adjacent Commerce Way/Oak Lane as being a "future on-road facility" (i.e. bike lanes or similar), which does not impact the design of the subject site itself. While the Commute Trip Reduction Plan (CTRP) has not been adopted by the Council, its conclusions and recommendations are a useful tool, and Staff has recommended appropriate conditions to mitigate the proposed development's peak hour traffic impact.

- (2) In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.

Staff Comment: The proposed site plan meets all requirements of the IU-C zoning district, including building setbacks, permitted uses, intensity, building heights, building size, minimum landscaped open space and other landscaping requirements. The proposed site plan additionally meets all other requirements of the LDC, including parking requirements, landscaping requirements per Chapter 18-A, etc.

- (3) In what respects the plan is or is not in conformance with the Town requirements including the design and construction of streets, utility facilities and other essential services.

Staff Comment: As addressed in the portion of this staff report regarding the requested preliminary plat approval, the any additional utility facilities will be identified and provided for through the platting process. No streets are to be constructed within the area covered this site plan application.

- (4) In what respects the plan is or is not consistent with good design standards in respect to all external relationships including but not limited to:
- a. Relationship to adjoining properties, including the arrangement of buildings and landscape to produce spatial relationships that are compatible with, and complementary to, the development and zoning in adjoining areas.
 - b. Internal and external circulation, including vehicular, bicycle and pedestrian. Circulation systems shall serve the needs of the development and be compatible with, and functionally integrate with, circulation systems outside the development. Vehicular traffic from non-residential development shall be routed so as to minimize impacts on residential development.
 - c. Disposition of open space, use of screening or buffering where appropriate to provide a logical transition to existing, permitted or planned uses on adjoining properties.
 - d. Landscaping that enhances architectural features, strengthens vista and important axes, provides shade, blocks noise generated by major roadways and intense-use areas and, to the maximum extent practicable, preserves existing trees on-site.
 - e. Appropriate scale of proposed structures to be compatible with and complementary to existing, permitted or planned uses on adjoining properties and in the immediate area.
 - f. All outdoor lighting, signs or permanent outdoor advertising or identification features shall be designed as an integral part of and be harmonious with building design and the surrounding landscape.
 - g. Service areas which may be provided shall be screened and so located as not to be visible from the public right-of-way and other properties.
 - h. Design of the site shall ensure adequate access for emergency vehicles and personnel.
 - i. Design of the site shall utilize strategies to provide for the conservation of energy and natural resources, including water.

Staff Comment: The proposed site design is consistent and compatible with adjoining areas and conforms to the existing predominant development pattern in the area of IU-C-zoned properties. There are two proposed vehicular access points on Commerce Way and two on NW 82nd Avenue. On NW 82nd Avenue, the

southernmost access point has been aligned to the maximum extent possible with a private street (ingress-egress easement) to the east. The property directly to the north (across Commerce Way) is undeveloped, and thus there are no driveway to which to align. The site plan also includes pedestrian walks connecting the proposed warehouse/office buildings with the existing sidewalks on the south side of Commerce Way and on the west side of NW 82nd Avenue.

No opportunity exists for direct connections to the properties to the west and south, as there is an existing multifamily residential development to the west (Lake House Apartments) and there is exiting light industrial uses directly to the south.

- (5) In what respects the plan is or is not in conformance with the Town policy in respect to sufficiency of ownership, guarantee for completion of all required improvements and the guarantee for continued maintenance.

Staff Comment: The application conforms with the Town's requirements concerning sufficiency of ownership. The entirety of the property will be retained under one ownership and maintenance of the property will be the responsibility of the property owner, and may be enforced through the provisions of the Town Code.

RECOMMENDATION

Therefore, based on the above analysis and other factors contained in this report, Staff recommends:

Request #1: Approval, subject to the following conditions:

1. The approval of the preliminary plat shall be in accordance with the copy of the "Tentative Plat of "TGC Building 64 and 65" as submitted for approval to the Town Council and prepared by Schwebke-Shiskin and Associates, Inc. consisting of two (2) sheets and stamped as received by the Town on 11-1-2016.
2. The Applicant shall comply, prior to final plat approval, with all platting requirements of the Town LDC and Chapter 28 of the Miami-Dade County Code.
3. All design and engineering documents, including any required studies, required for public improvements, or Private Street, utility and infrastructure improvements required to meet the standards for public facilities per the LDC, shall be submitted concurrently with the final plat application. All required improvements shall be completed and approved by the Town, per the procedures of the LDC, prior to recording of the final plat.
4. The Applicant shall obtain approval of a final plat in accordance with the Town LDC for the requested preliminary plat, as approved herein, within one year of the date of this approval, unless an extension is granted by the Town Council in accordance with the provisions of Subsection 13-308(f)(5). If a final plat is not obtained within the prescribed time limit, then this approval shall become null and void.
5. No building permit which is dependent upon this plat shall be issued until the final plat is recorded, except as may be allowed by the LDC.

Request #2: Approval, subject to the following conditions:

1. The Applicant shall obtain a Certificate of Use (CU), and Business Tax Receipt (BTR), and promptly renew the BTR annually, upon compliance with all the terms and conditions of this approval, the same subject to cancellation upon violation of any of the conditions.
2. Site Plan approval herein is for those plans shown in Exhibit B.
3. Prior to the issuance of any and all CUs for businesses within the proposed office building, a transportation demand management (TDM) plan particular to said business shall be submitted to and approved by the Administrative Official. In evaluating said TDM plans, the Administrative Official shall be guided by the findings and recommendations of the Commute Trip Reduction Plan (CTRP) and any subsequent updates to the CTRP undertaken by the Town.
4. Prior to the issuance of a building permit authorizing construction of the parking lot, the Applicant shall show on building plans the proposed location of preferred carpool parking in appropriate locations and of an appropriate number considering the size of the building. The Administrative Official may deny issuance of the building permit until these plans are deemed acceptable. No final zoning inspection shall be approved until the designation of these areas on the site is verified.
5. Vested rights previously granted for "Parcel 18" by Miami-Dade County Developmental Impact Committee (DIC) Order No. MVR-2-00 are hereby reduced by 75,420 square feet, upon the issuance of building permit(s) for construction of the office building as authorized by this site plan approval.
6. No trees shall be removed except in conformance with a tree removal permit issued by the Town.
7. All signs require a separate sign permit.

8. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted within the prescribed time limit, this approval shall become null and void.

A REPEAT OF PORTIONS OF TRACTS 5, 6 AND 24 IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION", AS RECORDED IN PLAT BOOK 2 AT PAGE 68, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LYING AND BEING IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA.

Schwebke - Shishin & Associates, Inc.
LAND PLANNERS • ENGINEERS • LAND SURVEYORS

LEGAL DESCRIPTION:

BEGIN AT THE NORTHEAST CORNER OF TRACT "F", MIAMI LAKES BUSINESS PARK SECTION TWO", AS RECORDED IN PLAT BOOK 156 AT PAGE 68, IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTH 02 DEGREES 13 MINUTES 40 SECONDS WEST FOR 295.60 FEET TO A POINT OF CURVATURE; THENCE NORTHERLY AND NORTHWESTERLY ALONG A CIRCULAR CURVE TO THE SOUTHWESTERLY END OF THE EASTERN LINE OF TRACT "D" BY AN ARC DISTANCE OF 32.26 FEET TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 54 MINUTES 17 SECONDS WEST FOR 168.00 FEET TO THE INTERSECTION OF THE EASTERN AND SOUTHERN LINES OF TRACT "D"; LAST THREE COURSES BEING ALONG THE WEST RIGHT-OF-WAY LINE FOR N. W. 82ND AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF COMMERCE WAY AS SHOWN ON THE PLAT OF "MIAMI LAKES BUSINESS PARK 22-2", AS RECORDED IN PLAT BOOK 149 AT PAGE 13; FROM SAID POINT OF TANGENCY, THENCE NORTH 89 DEGREES 54 MINUTES 17 SECONDS WEST FOR 168.00 FEET TO THE INTERSECTION OF THE EASTERN AND SOUTHERN LINES OF TRACT "D" OF THE SAID PLAT OF "MIAMI LAKES BUSINESS PARK 22-2"; THENCE NORTH 89 DEGREES 54 MINUTES 17 SECONDS WEST ALONG THE EAST LINE OF THE PLAT OF "LAKE HOUSE APARTMENTS"; AS RECORDED IN PLAT BOOK 168 AT PAGE 27 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR 283.34 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 17 SECONDS EAST ALONG THE NORTH LINE OF THE AFROSAZARD TRACT "F", MIAMI LAKES BUSINESS PARK SECTION TWO", FOR 737.04 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN THE TOWN OF MIAMI, MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

3. THIS SKETCH REPRESENTS AN "AL.T.A./N.S.P.S. AND TITLE SURVEY" WITH ELEVATIONS FOR "TENTATIVE PLAT" PURPOSES.
4. THERE ARE NO VISIBLE ENCROACHMENTS, OTHER THAN THOSE SHOWN HEREON.
5. THE ELEVATIONS SHOWN HEREON RELATE TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929 AND ARE EXPRESSED IN FEET.
6. VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, THE SURVEYOR HAS MADE NO ATTEMPT TO AS-BUILT ANY UNDERGROUND UTILITIES EITHER SERVING OR APPURTENANT TO ANY OF THE UTILITY IMPROVEMENTS SERVING THE SUBJECT SITE. (WATER SEWER, DRAINAGE OR SITE LIGHTING).
7. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE WALL OR FENCE POSTS/FOUNDATIONS.
8. THE DISTANCES SHOWN ALONG THE PROPERTY LINES HEREON ARE RECORD AND MEASURED, UNLESS NOTED OTHERWISE.
9. THE PROPERTY SHOWN HEREON FALLS WITHIN THE "FLOOD HAZARD ZONE #4" (BASE FLOOD ELEVATION 6) PER FLOOD INSURANCE RATE MAP NO. 12086C00114L, COMMUNITY NO.120866, PANEL NO. 0114, SUFFIX L, MAP PANEL AND INDEX MAP DATED SEPTEMBER 11, 2006.
10. THIS SKETCH HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITY (ENTITIES) NAMED HEREON. THE CERTIFICATION SHOWN HEREON DOES NOT EXTEND TO ANY UNNAMED PARTIES.
11. THIS "TENTATIVE PLAT" REFLECTS EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS THAT ARE LISTED AS EXCEPTIONS IN SCHEDULE B-III IN THE OPINION OF TITLE PREPARED BY CHICAGO TITLE INSURANCE LOAN POLICY NO. 1014620200040 WITH AN EFFECTIVE DATE OF APRIL 1, 1992, AND SURVEYS' TITLE FUND SERVICES, LLC CERTIFIED ATTORNEY TITLE INFORMATION WITH AN EFFECTIVE DATE OF OCTOBER 17, 2016 AT 11:00 P.M.
12. APPLICABLE BUILDING SETBACKS AFFECTING THE SUBJECT PROPERTY, UNLESS NOTED OTHERWISE, ARE NOT SHOWN HEREON. VARIANCES FROM CURRENT ZONING CODES MAY EXIST BASED ON SITE PLAT APPROVALS OBTAINED DURING PERMITTING PROCEEDINGS.
13. BENCHMARK A: NAME: N-626, MIAMI-DADE COUNTY-P-K NAIL & BRASS DISC IN CONCRETE GUTTER ACROSS FROM F.R.L. SUBD-STATION AT THE INTERSECTION OF N.W. 138TH STREET (PALMETTO FRONTAGE ROAD) AND N.W. 80TH AVENUE. ELEVATION=7.27 N.G.V.D. 1929.
14. BENCHMARK B: NAME: N-632, MIAMI-DADE COUNTY-P-K NAIL & BRASS WASHER IN CONCRETE SIDEWALK 12' EAST OF FIRE HYDRANT AT THE INTERSECTION OF N.W. 146TH STREET AND N.W. 77TH AVENUE. ELEVATION=7.28 N.G.V.D. 1929.
15. UNLESS STATED OTHERWISE, THIS FIRM DOES NOT EXTEND TO WHICH THE SUBJECT PROPERTY COMPLIES WITH APPLICABLE ZONING REQUIREMENTS, REGULATIONS AND/OR RESTRICTIONS.
16. THE BEARINGS SHOWN HEREON RELATE TO AN ASSUMED BEARING (S02°13'40"E) ALONG THE CENTERLINE OF S.W. 82nd AVENUE PER PLAT BOOK 149 AT PAGE 15.
17. THE REVIEW AND EXAMINATION OF TITLE EXCEPTIONS, WHEN CONDUCTED BY THIS FIRM, HAS BEEN PERFORMED UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND MAPPER. THE ATTESTING SURVEYOR AND MAPPER IS NEITHER TRAINED NOR LICENSED TO PROVIDE LEGAL ANALYSIS, INTERPRETATION, OR CONCLUSIONS ABOUT THE DOCUMENTS AND INSTRUMENTS REFERENCED IN ANY SUCH TITLE EXCEPTIONS AND THEREFORE SUCH ANALYSIS, INTERPRETATION OR CONCLUSIONS SHOULD BE IMPLIED.
18. THERE ARE NO UNDERGROUND PUBLIC UTILITIES LYING WITHIN THE BOUNDARY OF THE SUBJECT PROPERTY. PUBLIC UTILITIES (EXCLUDING SERVICE LINES SERVING THE SUBJECT PROPERTY) LIE WHOLLY WITHIN PUBLICLY DEDICATED RIGHTS-OF-WAY, ALL UNDERGROUND INFORMATION, WHEN PROVIDED BY OTHERS, IS SUBJECT TO THE ACCURACY OF THE INFORMATION PROVIDED. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
19. THE SURVEYOR HAS OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
20. THE SUBJECT SITE HAS NO OBSERVED EVIDENCE OF A HAZARDOUS WASTE, SOLID WASTE, DUMP, SINK OR SANITARY LANDFILL.
21. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO DESIGNATED WETLANDS LOCATED ON THE SUBJECT SITE.
22. MIAMI-DADE COUNTY, FLORIDA, TAX FOLIO NO. 32-2022-001-0530 AND 32-2022-001-0650.
23. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO COMMERCE WAY, A DEDICATED PUBLIC RIGHT-OF-WAY.



DEVELOPMENT INFORMATION:
TENTATIVE PLAT DATA:

- * NUMBER OF PARCELS: 1
- * UTILITY SERVICE: MIAMI-DADE COUNTY WATER AND SEWER DEPARTMENT (WASD)
- * CURRENT ZONING: IU-C (INDUSTRIAL DISTRICT-CONDITIONAL)
- * CURRENT ZONING LAND USE: IMPROVED PASTURES, VACANT LAND
- * MIAMI-DADE COUNTY, FLORIDA, DEED # 187874.05 (PLAT BOOK 120, PAGE 13, PUBLIC RECORDS, MIAMI-DADE COUNTY, FLORIDA)
- * THE PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONE "AE" (BASE FLOOD ELEVATION 6') PER FLOOD INSURANCE RATE MAP NO. 12086B(012L, COMMUNITY NO. 12086B, PANEL NO. 0112, SUFFIX L, MAP PANEL 12086B(012L) DATED SEPTEMBER 11, 2009
- * MIAMI-DADE COUNTY, FLORIDA, TAX FOLIO NO'S: 32--2022--001--0530
32--2022--001--0650

PROPOSED USE:

TRACT "A"
BUILDING "A" (64): 33,700 SQUARE FEET WAREHOUSE SPACE
5,000 SQUARE FEET OFFICE SPACE
BUILDING "B" (65): 31,720 SQUARE FEET WAREHOUSE SPACE
5,00 SQUARE FEET OFFICE SPACE

AREA TABULATION:

NET AREA (PLAT LIMITS) - 5.308± NET ACRES / 231,198± NET SQUARE FEET

CONTACT INFORMATION:

E-MAIL ADDRESS: stu.wyllie@grahamcos.com

SINGLE FAMILY ATTACHED UNITS: 0
SINGLE FAMILY DETACHED UNITS: 0
MULTI-FAMILY UNITS: 0
GROSS AREA (TO CENTERLINE OF ADJACENT R/W): 272,746± GROSS SQUARE FEET
6.261± GROSS ACRES

EXCEPTIONS PER SPECIAL EXCEPTIONS
CHICAGO TITLE INSURANCE LOAN POLICY No. 10146202000040
EFFECTIVE DATE: APRIL 7, 1992
ATTORNEYS' TITLE FUND SERVICES, LLC
EFFECTIVE DATE: OCTOBER 17, 2016 AT 11:00 P.M.

- 1) RESERVATIONS AND EASEMENTS CONTAINED IN DEED FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA RECORDED AUGUST 6, 1925, IN DEED BOOK 560, PAGE 285 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
AFFECTS - NOT PLOTTABLE
- 2) RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY, IF ANY, IN THE PLAT OF CHAMBER'S LAND COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 68, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
AFFECTS - ALL PLOTTABLE ITEMS SHOWN ON SURVEY
- 3) AGREEMENT WITH MIAMI-DADE WATER AND SEWER AUTHORITY REGARDING SEWAGE FACILITIES RECORDED MAY 12, 1976, IN OFFICIAL RECORDS BOOK 9322, AT PAGE 813 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
AFFECTS - NOT PLOTTABLE
- 4) AGREEMENT WITH MIAMI-DADE WATER AND SEWER AUTHORITY REGARDING WATER FACILITIES RECORDED MAY 12, 1976, IN OFFICIAL RECORDS BOOK 9322, AT PAGE 837 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
AFFECTS - NOT PLOTTABLE

CERTIFIED TO:

1. TGC BPW SOUTH LLC, A FLORIDA LIMITED LIABILITY COMPANY
2. THE GRAHAM COMPANIES, A FLORIDA CORPORATION

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELDWORK WAS COMPLETED ON JUNE 29, 2016.

I FURTHER CERTIFY TO THE HEREIN NAMED FIRM(S) AND/OR PERSON(S) THAT THE ATTACHED "BOUNDARY SURVEY", ALSO BEING A TENTATIVE PLAT OF THE HEREIN DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION ON OCTOBER 14, 2016. THIS SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE REQUIREMENTS AS SET FORTH IN RULES 5J-17.051 AND 5J-17.052, AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

Schwebke-Shiskin and Associates, Inc.

BY: MARK STEVEN JOHNSON, PRINCIPAL
PROFESSIONAL SURVEYOR & MAPPER NO. 4775
STATE OF FLORIDA

[illegible]

TENTATIVE PLAT TGC BUILDING 64 AND 65

A REPLAT OF PORTIONS OF TRACTS 5, 6 AND 24 IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST,
"CHAMBERS LAND COMPANY SUBDIVISION", AS RECORDED IN PLAT BOOK 2 AT PAGE 68, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
LYING AND BEING IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST, TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA.

PREPARED BY:

Schwebke-Shiskin & Associates, Inc.
LAND PLANNERS ENGINEERS LAND SURVEYORS

3240 CORPORATE WAY, MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)438-3288 DADE: (305)652-7010 FAX: (305)652-8284
ORDER NO. 205774 F.B. NO. 2020/1, PG.12 SCALE: 1"= 30' JUNE 9, 2016

GRAPHIC SCALE IN FEET
0 30' 50' 100'
SCALE: 1"=30'



GENERAL LEGEND:

- ALUMINUM LIGHT POST
- BELLSOUTH MANHOLE
- CABLE TELEVISION BOX
- CATCH BASIN
- COVERLINE
- CHECK VALVE ASSEMBLY
- CONCRETE POWER POLE
- CURB INLET
- ELECTRIC PULLBOX
- FIRE HYDRANT
- GUARD POST
- IRRIGATION HAND HOLE
- PROPERTY LINE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STREET LIGHT HAND HOLE
- WATER METER
- WATER VALVE
- TREE LOCATION (SEE TREE DATA)

ABBREVIATIONS:

- R denotes RADIUS
- Δ denotes DELTA ANGLE
- L denotes ARC DISTANCE
- T denotes TANGENT DISTANCE
- Ch.B denotes CHORD BEARING
- Ch.D denotes CHORD DISTANCE
- PCP denotes PERMANENT CONTROL POINT
- PRM denotes PERMANENT REFERENCE MONUMENT
- P.B. denotes PLAT BOOK
- P.C. denotes POINT OF COMMENCEMENT
- POB denotes POINT OF BEGINNING
- OHV denotes OVERHEAD UTILITY WIRES
- ORR denotes OFFICIAL RECORDS BOOK
- P.C. denotes POINT OF CURVATURE
- CBS denotes CONCRETE BLOCK STRUCTURE
- CONE denotes CONCRETE
- C.F. denotes CHAINLINK FENCE
- I.E. denotes INVERT ELEVATION
- MF denotes METAL FENCE
- WF denotes WOOD FENCE
- F.I.D. denotes FOUND IRON PIPE
- F.N.D. denotes FOUND NAIL & BRASS DISC
- S.N.D. denotes SET IRON PIPE & BRASS DISC
- T.O.P. denotes TOP OF PIPE
- CL denotes CLEAR
- ENCR. denotes ENCROACHMENT
- C.P.P. denotes CORRUGATED PLASTIC PIPE
- C.M.P. denotes CORRUGATED METAL PIPE
- UNK denotes UNDERGROUND UNKNOWN UTILITY
- S.I.P. denotes SET IRON PIPE & LB-87 CAP
- CL denotes CENTERLINE

- (D) denotes DEED INFORMATION
- (L) denotes INFORMATION BY LEGAL DESCRIPTION
- (M) denotes MEASURED INFORMATION
- (R) denotes RECORD OR PLATTED INFORMATION

TREE DATA:

TREE NO.	COMMON NAME	SPECIES	DIA. IN.	HT. FT.	CNPLY. Ø
111	LIVE OAK	"Quercus virginiana"	13	25	40
112	LIVE OAK	"Quercus virginiana"	18	28	50
113	LIVE OAK	"Quercus virginiana"	14	25	42
114	LIVE OAK	"Quercus virginiana"	12	25	40
115	LIVE OAK	"Quercus virginiana"	15	25	50
116	LIVE OAK	"Quercus virginiana"	12	22	40
117	LIVE OAK	"Quercus virginiana"	18	25	45
147	LIVE OAK	"Quercus virginiana"	5	15	10
148	LIVE OAK	"Quercus virginiana"	24	25	50
149	LIVE OAK	"Quercus virginiana"	9	22	42
152	LIVE OAK	"Quercus virginiana"	10	25	35
153	LIVE OAK	"Quercus virginiana"	22	30	50
154	LIVE OAK	"Quercus virginiana"	13	25	40
159	BLACK OLIVE	"Bucida buceras"	11	30	42
160	BLACK OLIVE	"Bucida buceras"	13	30	35
161	LIVE OAK	"Quercus virginiana"	14	35	50
162	BLACK OLIVE	"Bucida buceras"	18	35	50
163	BLACK OLIVE	"Bucida buceras"	15	30	45
164	LIVE OAK	"Quercus virginiana"	7	25	20
165	LIVE OAK	"Quercus virginiana"	6	20	22
166	LIVE OAK	"Quercus virginiana"	6	18	18
167	LIVE OAK	"Quercus virginiana"	7	25	20
168	LIVE OAK	"Quercus virginiana"	6	22	24
169	CABBAGE PALM	"Sabal palmetto"	10	5	12
170	BRAZILIAN PEPPER	"Schinus terebinthifolius"	70	30	0

NOTE: THE TYPE/SPECIES OF TREES, AS INDICATED HEREON, ARE SUBJECT TO CORRECTION PURSUANT TO VISUAL VERIFICATION BY A QUALIFIED BOTANIST OR OTHER INDIVIDUAL WITH SIMILAR EXPERTISE.

ALL EXISTING INTERIOR IMPROVEMENTS ARE TO BE REMOVED

ELEVATIONS RELATE TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 1929)



Office - Warehouse Facilities for:
THE GRAHAM COMPANIES
BLDG 64 & 65

NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES, FLORIDA
PHONE : (305) 821-1130

LEGAL DESCRIPTION:

SECTION 22 - TOWNSHIP 52 SOUTH - RANGE 40 EAST
A PORTION OF TRACTS 5, 6 AND 24 IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST AS SHOWN ON THE PLAT OF "CHAMBERS LAND COMPANY SUBDIVISION," AS RECORDED IN PLAT BOOK 2 AT PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE NORTHEAST CORNER OF TRACT "F", MIAMI LAKES BUSINESS PARK SECTION TWO, AS RECORDED IN PLAT BOOK 156 AT PAGE 68, IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTH 02 DEGREES 13 MINUTES 40 SECONDS WEST FOR 235.60 FEET TO A POINT OF CURVATURE; THENCE NORTHERLY AND NORTHWESTERLY ALONG A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 81 DEGREES 40 MINUTES 43 SECONDS FOR AN ARC DISTANCE OF 38.26 FEET TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 645.09 FEET; (SAID LAST THREE COURSES BEING ALONG THE WEST RIGHT-OF-WAY LINE FOR N.W. 82ND AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF COMMERCE WAY AS SHOWN ON THE PLAT OF MIAMI LAKES BUSINESS PARK 22-2); AS RECORDED IN PLAT BOOK 149 AT PAGE 15, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE SOUTH 0 DEGREES 05 MINUTES 31 SECONDS WEST FOR 36.00 FEET; THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 59.00 FEET; (SAID LAST TWO COURSES BEING ALONG THE EASTERLY AND SOUTHERLY LINES OF TRACT "D" OF THE SAID PLAT OF MIAMI LAKES BUSINESS PARK 22-2); THENCE SOUTH 0 DEGREES 05 MINUTES 31 SECONDS WEST ALONG THE EAST LINE OF THE PLAT OF LAKE HOUSE APARTMENTS, AS RECORDED IN PLAT BOOK 168 AT PAGE 21 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR 283.34 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 23 SECONDS EAST ALONG THE NORTH LINE OF THE AFORESAID TRACT "F", MIAMI LAKES BUSINESS PARK SECTION TWO FOR 131.04 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

Civil

- C-1 Cover Sheet
- C-2 Water and Sewer Overall Plan
- C-3 Domestic, Irrigation and Fire Plan
- C-4 Domestic, Irrigation and Fire Plan
- C-5 Sanitary Lateral Plan
- C-6 Sanitary Lateral Plan
- C-7 Water and Sewer Details
- C-8 Paving, Grading and Drainage Overall Plan
- C-9 Paving, Grading and Drainage Plan
- C-10 Paving, Grading and Drainage Plan
- C-11 Paving, Grading and Drainage Plan

Landscaping

- C-12 Paving, Grading and Drainage Details
- C-13 Paving, Grading and Drainage Details
- C-14 Site Sections
- C-15 Site Sections
- C-16 Fire Access Plan
- C-17 Concrete Slab Joint Details
- C-18 Geometric Layout Plan
- C-19 Pavement Marking and Signage
- ESC-1 Erosion and Sediment Control Plan
- ESC-2 Erosion and Sediment Control Details
- ESC-3 Erosion and Sediment Control Details

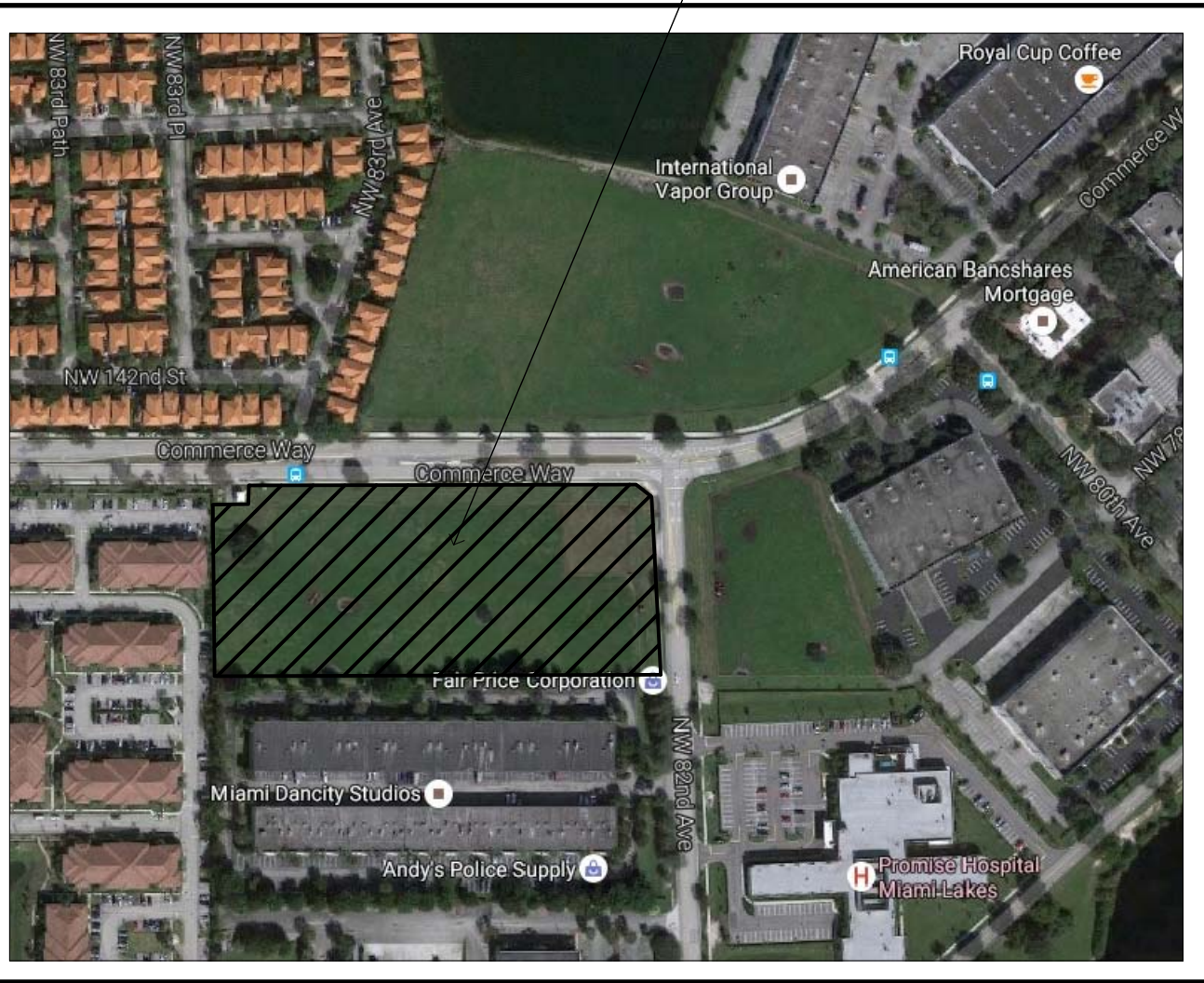
- TD-1 Tree Disposition Plan
- L-1 Site Landscape Plan
- L-2 West Sector Landscape Plan
- L-3 East Sector Landscape Plan
- L-4 Landscape Details, Notes, Specifications

Architectural

- A-0 Cover sheet
- A-1 Proposed Site plan
- A-2 Building Plan
- A-3 Exterior Elevations
- A-4 Exterior Elevations

Electrical

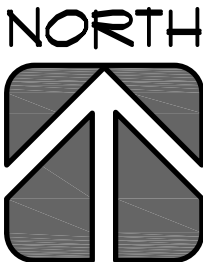
- E-1 Photometric Plan



SITE LOCATION FOR
BLDG 64 & 65

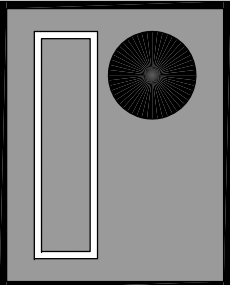
Existing Future Land Use Category
(Industrial and Office)
Zoning District (IU-C)
Folio Number (32-2022-001-0530)
Folio Number (32-2022-001-0650)

Vicinity Map N.T.S.



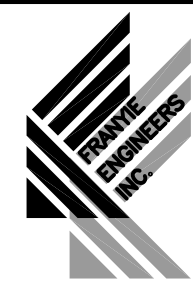
SCHWEBKE-SHISKIN & ASSOCIATES, INC.
LAND SURVEYORS - ENGINEERS - LAND PLANNERS
LB#87 CA#87
3240 CORPORATE WAY - MIRAMAR, FL 33025
TEL: (305) 652-7010 FAX: (305) 652-8284

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignfl.com
jimmy@jfsdesignfl.com
TEL: (954) 447-1852
FAX: (954) 442-8225

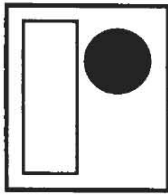


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Architecture Planning & Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-0001984



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Fax: (305) 594-9279



Lazaro J. Rodríguez, Architect
Adalberto Pereira, Architect

SITE PLAN REVIEW RESPONSES

To:	Brandon R. Schaad	From:	Jose Aguada
Company:	MIAMI LAKES	Date:	11-16-2016
Job:	GRAHAM BLDGS 64&65	Job #:	16-025
Process #	PHSP2016-0004	Re:	Application Comments

Following are our responses/clarifications for the comments:

1 – There are some discrepancies between plan sheets with respect to site information and zoning requirements....

Response: COORDINATED WITH LANDSCAPE

2 – Sheet A-1: call out more clearly the location of proposed bicycle parking.

Response: SEE PLANS SHEET A-1. HIGHLIGHTED "BICYCLE PARKING" AT THE FRONT NORTH OF THE BUILDING

3 – Sheet A-1: the walkway leading to the eastern property line should extend all the way to the sidewalk.

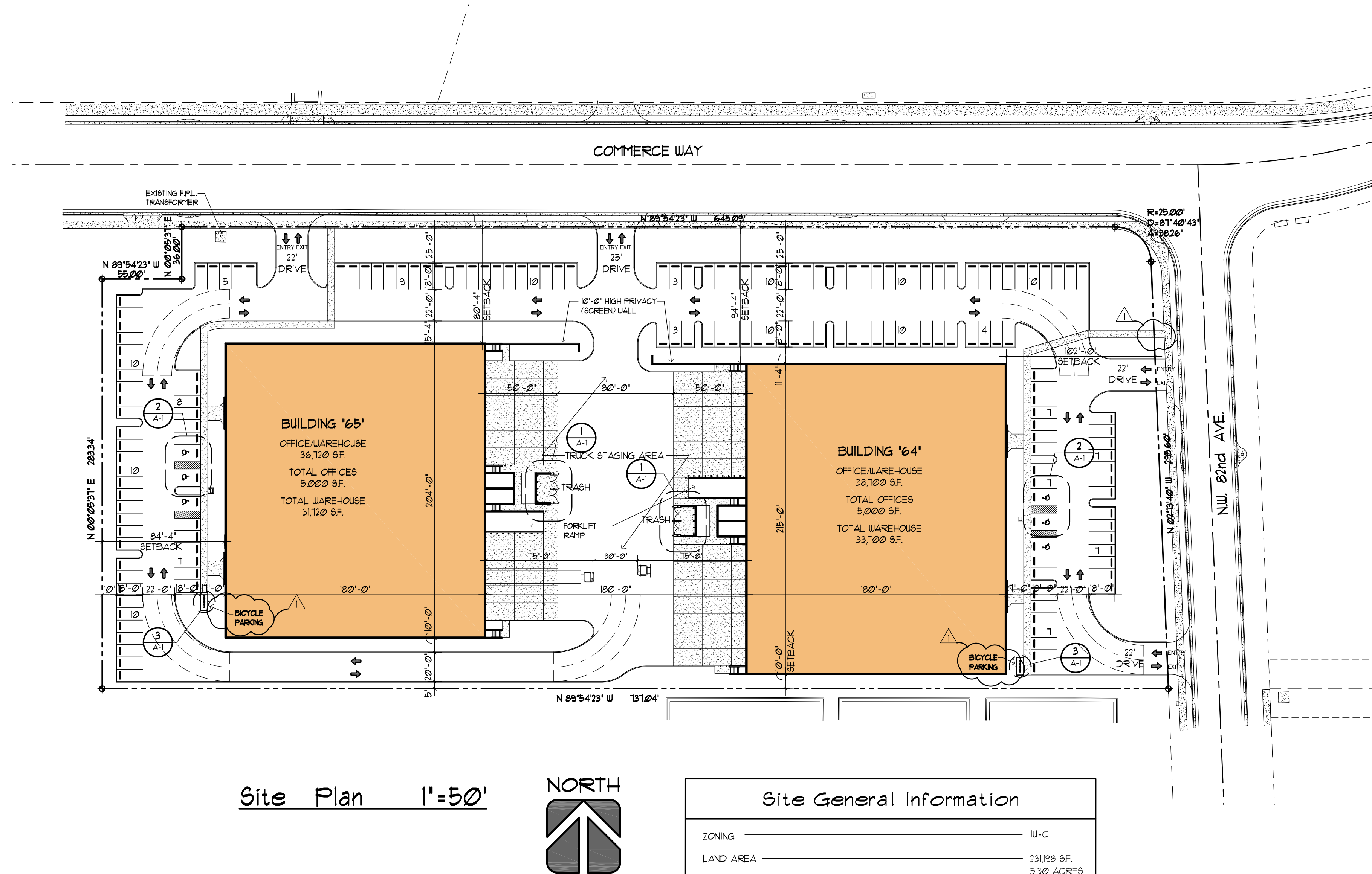
Response: SEE PLANS SHEET A-1. SIDEWALK HAS BEEN EXTENDED TO THE EXISTING SIDEWALK

4 – Sheet A-1: Site General Information table indicated that 99 parking spaces are provided for Building 64 and 72 spaces are provided for Building 65.....

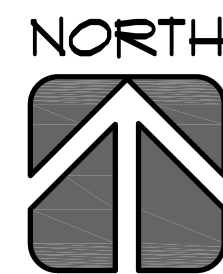
Response: SEE PLANS SHEET A-1. PARKING SPACES AMOUNT REVISED TO REFLECT THE CORRECT 164 TOTAL

5 – *SEE LANDSCAPE DRAWINGS*

6 – *SEE LANDSCAPE DRAWINGS*



Site Plan 1"=50'



PROPOSED HEIGHT (FROM FFE.)

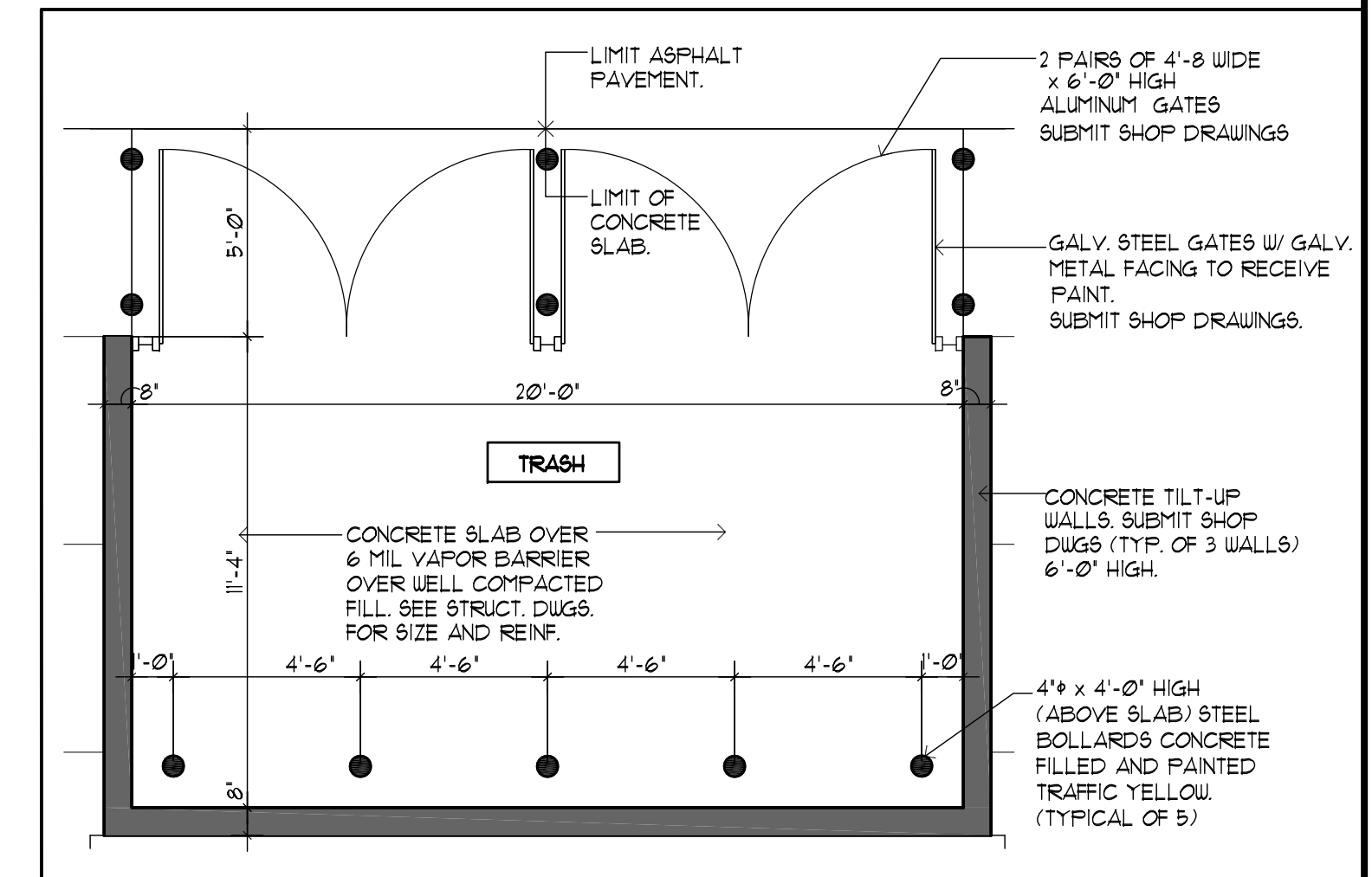
BUILDING '64'	
MAIN BUILDING	36'-0"
MAIN ENTRY PANELS	39'-6"
BUILDING '65'	
MAIN BUILDING	36'-0"
MAIN ENTRY PANELS	39'-6"

SETBACKS

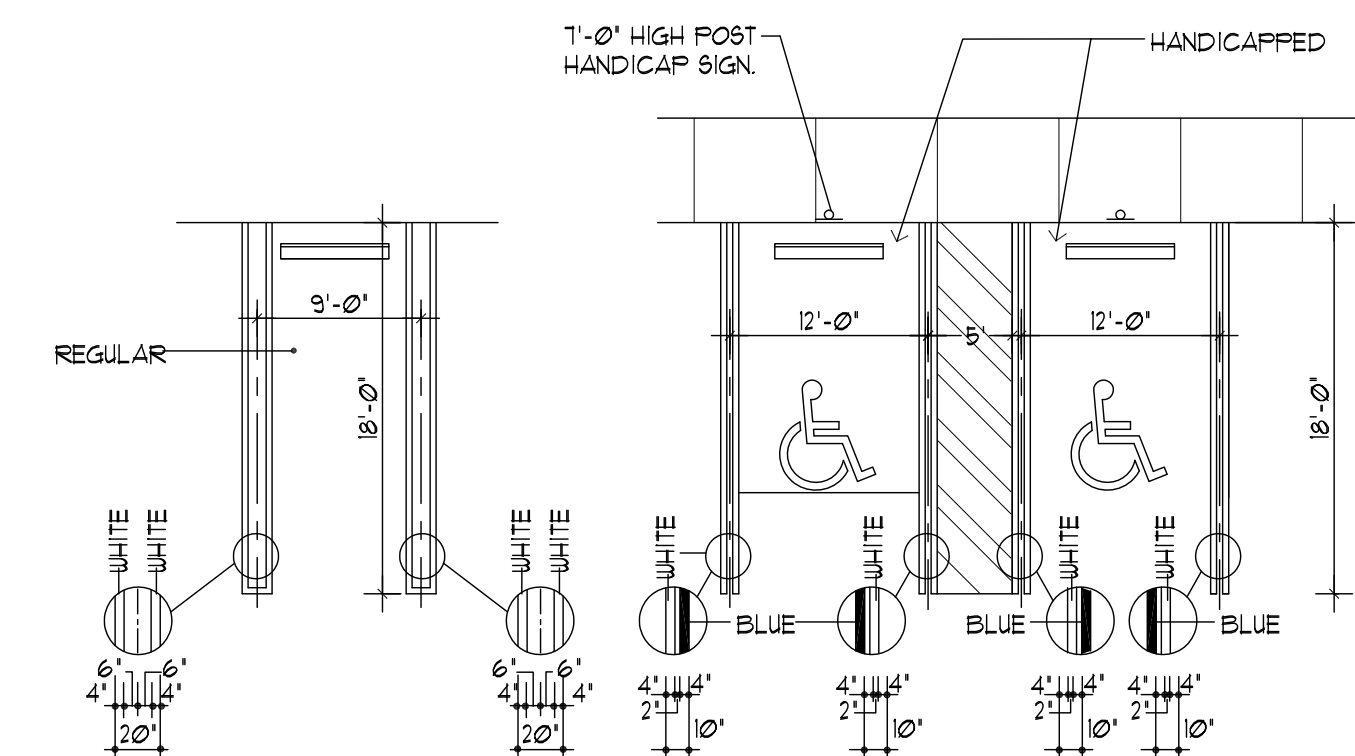
	REQUIRED	PROVIDED
FRONT — EAST (NW 82nd AVE)	50'-0"	102'-10"
SIDE — NORTH	25'-0"	80'-4"
SIDE — SOUTH	10'-0"	10'-0"
REAR — WEST	20'-0"	84'-4"

Site General Information

ZONING	1U-C
LAND AREA	231,198 SF. 5.30 ACRES
BUILDING AREA	
OFFICES	10,000 SF.
WAREHOUSE	65,420 SF.
TOTAL BUILDING AREA (32.62%)	75,420 SF.
PARKING REQUIREMENTS	
BUILDING '64'	
OFFICE AREA (5,000 SF. @ 1 SPACE/300 SF.)	17 SPACES
WAREHOUSE AREA (33,100 SF. @ 1/1000 SF. UP TO 10,000 SF. AND 1/2000 SF. THEREAFTER)	22 SPACES
TOTAL REQUIRED	39 SPACES
TOTAL PROVIDED	35 SPACES
BUILDING '65'	
OFFICE AREA (5,000 SF. @ 1 SPACE/300 SF.)	17 SPACES
WAREHOUSE AREA (31,120 SF. @ 1/1000 SF. UP TO 10,000 SF. AND 1/2000 SF. THEREAFTER)	21 SPACES
TOTAL REQUIRED	38 SPACES
TOTAL PROVIDED	63 SPACES
TOTAL PARKING REQUIRED (BOTH BLDGS)	77 SPACES
TOTAL PARKING PROVIDED (BOTH BLDGS)	164 SPACES
LANDSCAPE/OPEN SPACE REQ. (20% + 10 SF./P.S.)	47,880 SF.
LANDSCAPE/OPEN SPACE PROV. (20.63%)	50,386 SF.

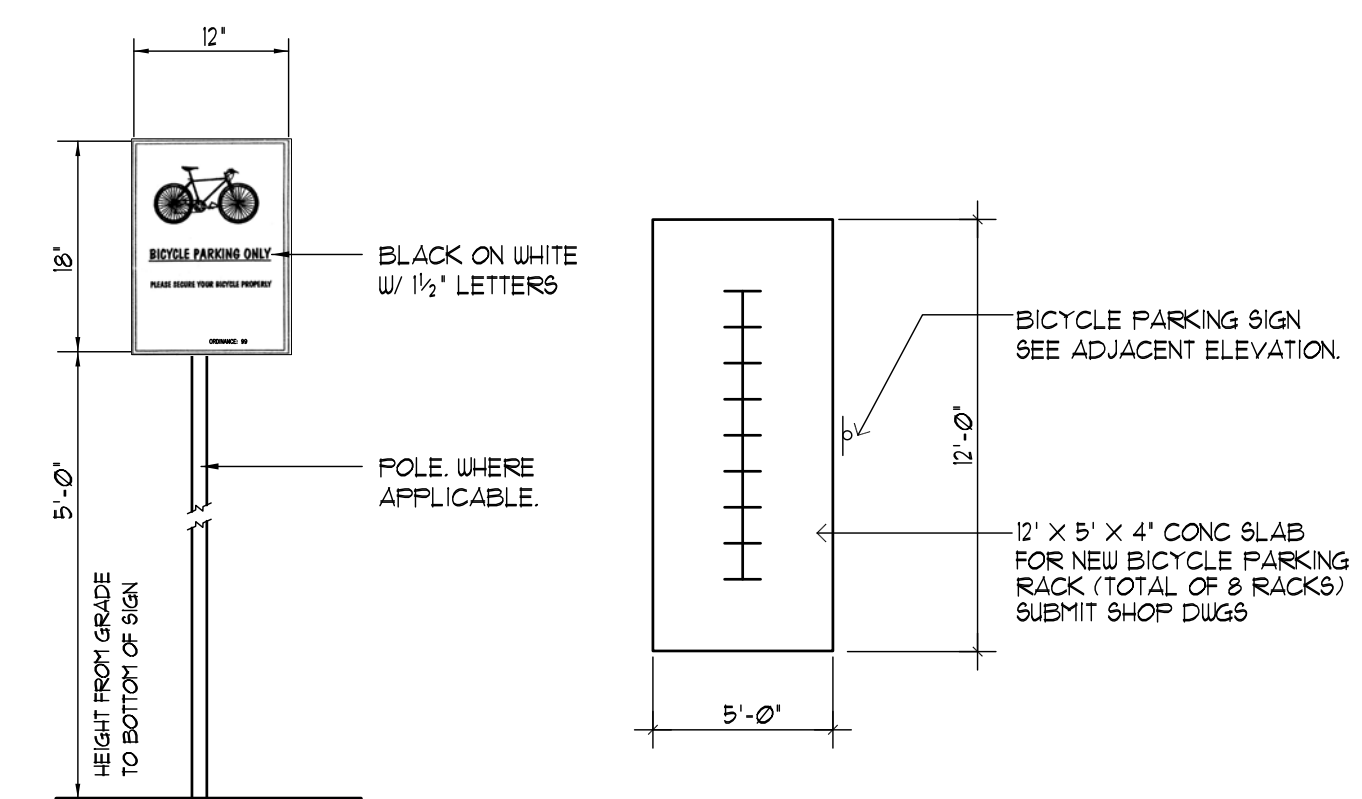


Trash Enclosure Plan 1/4"



NOTE: COLOR OF ALL PAVEMENT MARKINGS IS WHITE UNLESS OTHERWISE NOTED.

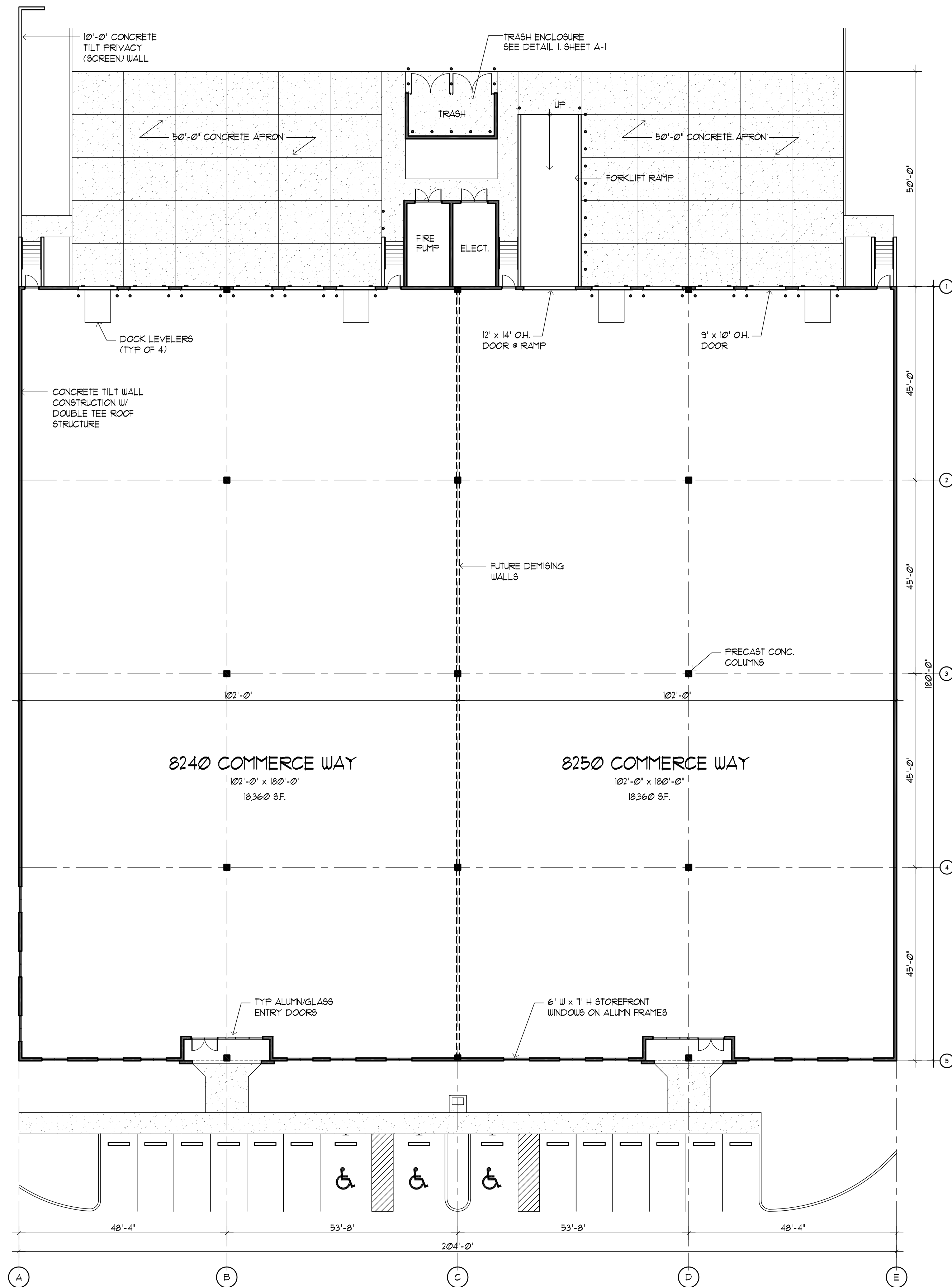
Typical Stall Markings Dtl. N.T.S.



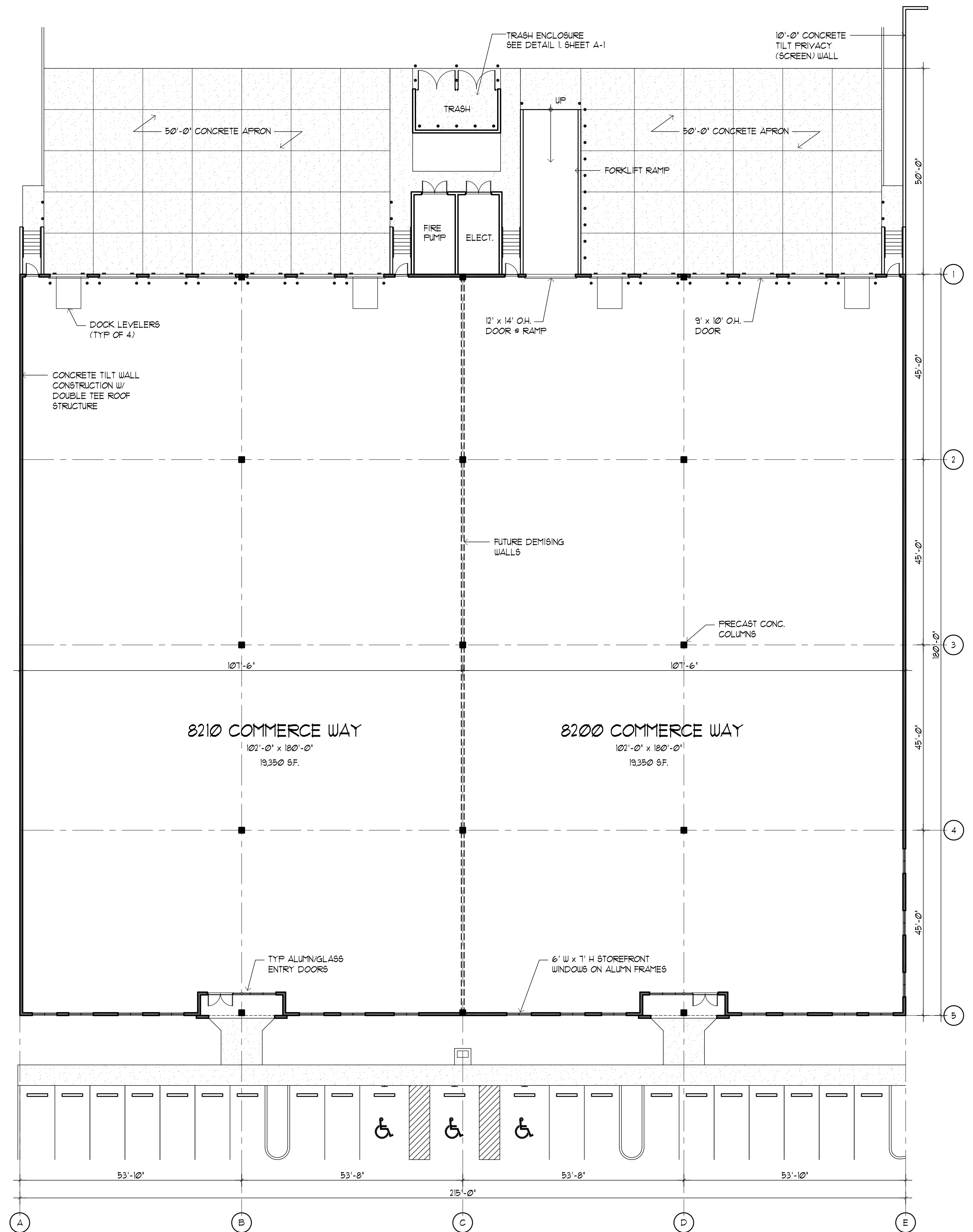
Bicycle Parking Sign and Plan 3/16"

REVISIONS	BY
11-15-16	

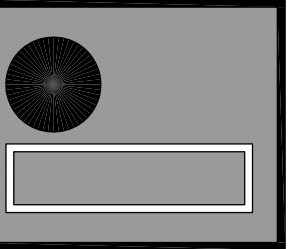
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Of	Sheets



Building Plan 1/16"
BUILDING 65



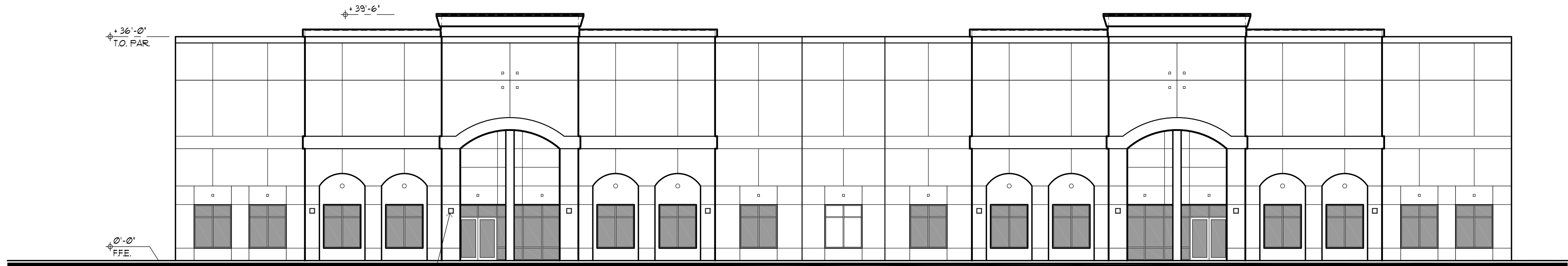
Building Plan 1/16"
BUILDING 64



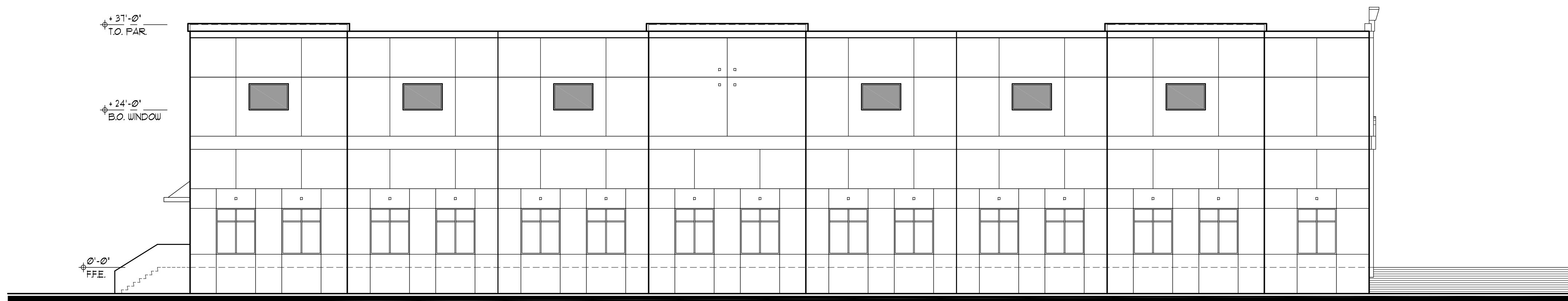
REVISIONS	BY

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ARE OBTAINED AND COMMENTS
INCORPORATED INTO THESE DWGS.

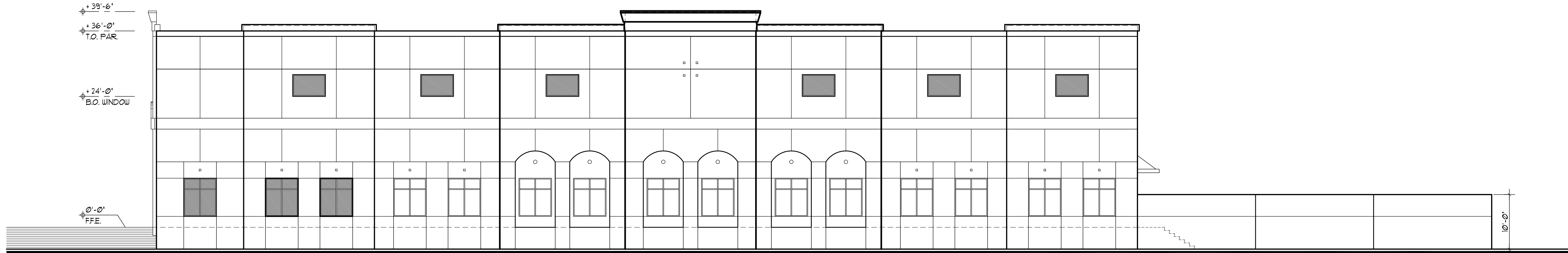
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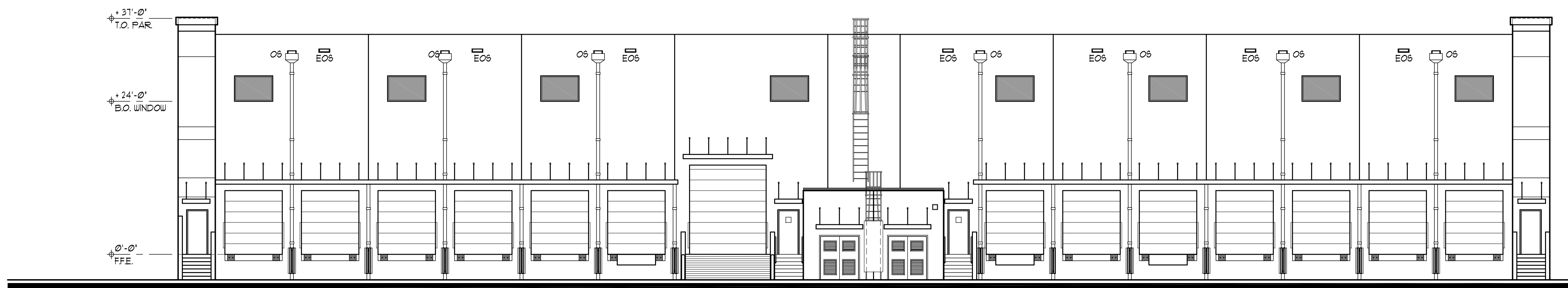
Proposed Front Elevation 3/32"
BUILDING 64 EAST



Proposed Side Elevation 3/32"
BUILDING 64 SOUTH



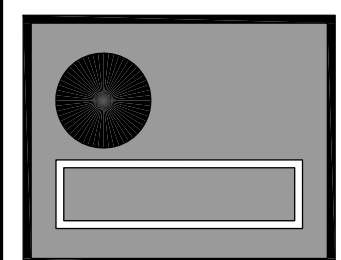
Proposed Side Elevation 3/32"
BUILDING 64 NORTH



Proposed Rear Elevation 3/32"
BUILDING 64 WEST

Elevations Key Notes

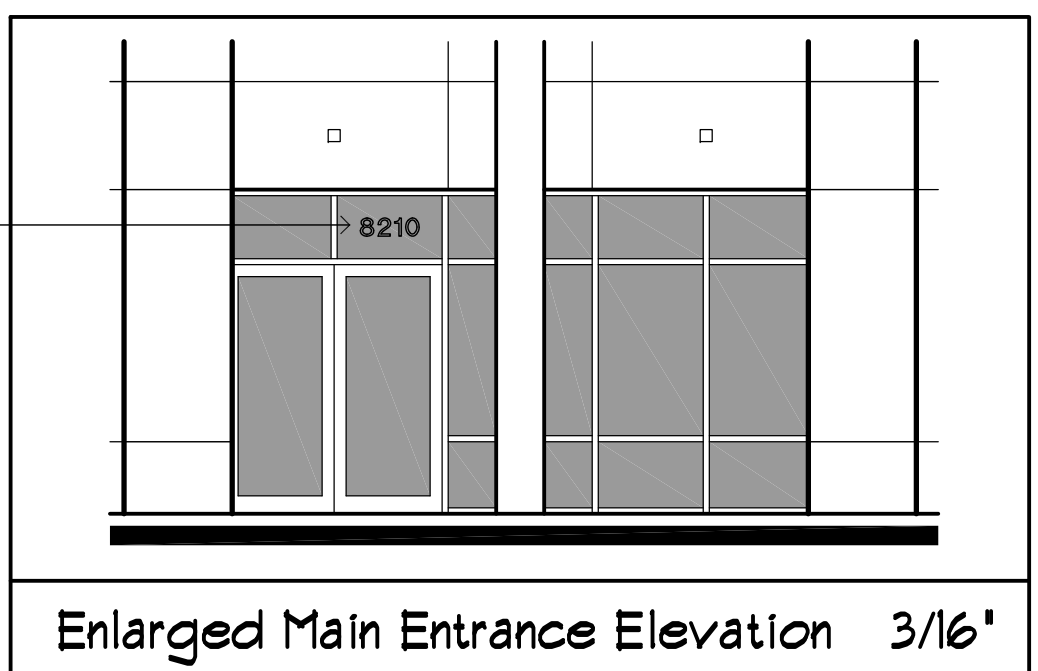
- 1 CONCRETE TILT-UP PANELS TO RECEIVE TEXT-COTE PAINT.
- 2 IMPACT RESISTANT WINDOWS ON CLEAR ANODIZED IMPACT RESISTANT ALUMINUM FRAMES.
- 3 3/4" PANEL JOINT
- 4 1 1/2" PANEL REVEAL
- 5 6'-0" X 1'-0" X 3/4" PANEL REVEAL SIMULATING WINDOW (PAINT ACCENT COLOR)
- 6 8'X8' DOWNSPOUTS PAINT TO MATCH BLDG.
- 7 PRE-ENGINEERED ALUMN CANOPY (WHITE).
- 8 9'-0" X 10'-0" ROLL-UP DOORS.
- 9 12'-0" X 14'-0" ROLL-UP TRUCK DOORS.
- 10 CONC. STAIR
- 11 RUBBER TRUCK DOOR BUMPERS (TYP. OF 2 PER DOOR).
- 12 FORKLIFT CONC. RAMP
- 13 DECORATIVE FOAM CAP MOLDING
- 14 DECORATIVE MOLDING
- 15 DECORATIVE MOLDING
- 16 10' HT. PRIVACY SCREEN TILT-UP WALL.
- 17 3'X3'X1/4" GALV. STEEL GUARDS. (TYPICAL 2 PER DOOR)



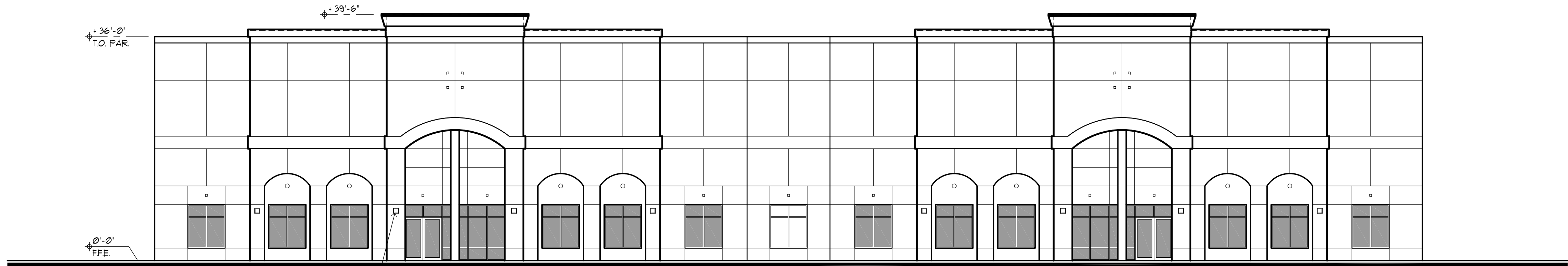
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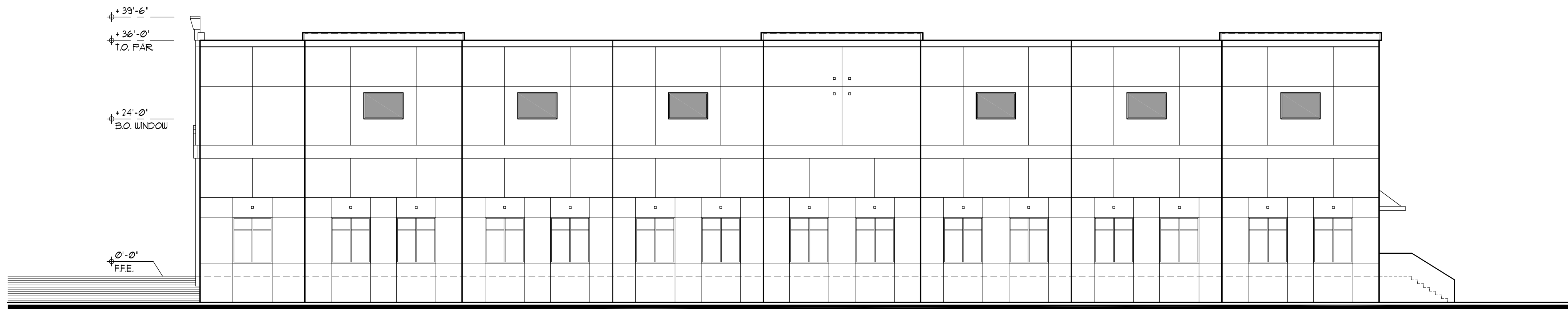
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Enlarged Main Entrance Elevation 3/16"



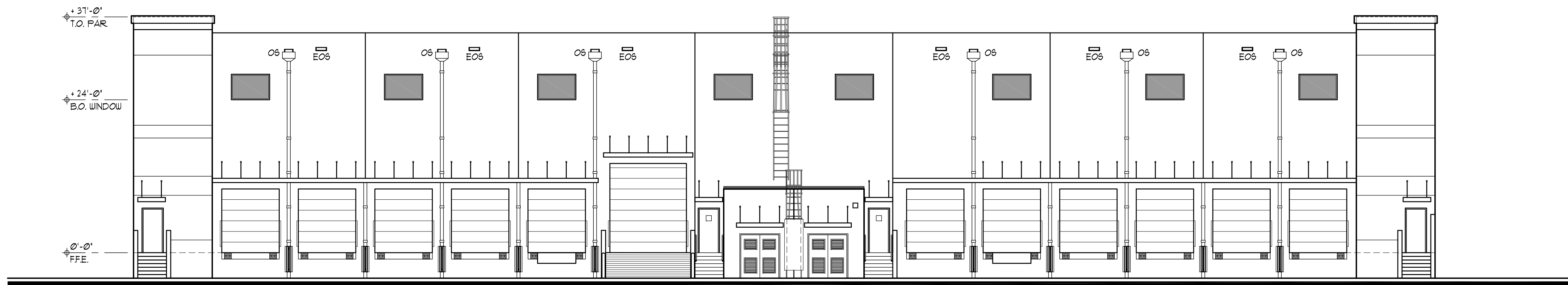
Proposed Front Elevation 3/32"
BUILDING 65 WEST



Proposed Side Elevation 3/32"
BUILDING 65 SOUTH



Proposed Side Elevation 3/32"
BUILDING 65 NORTH

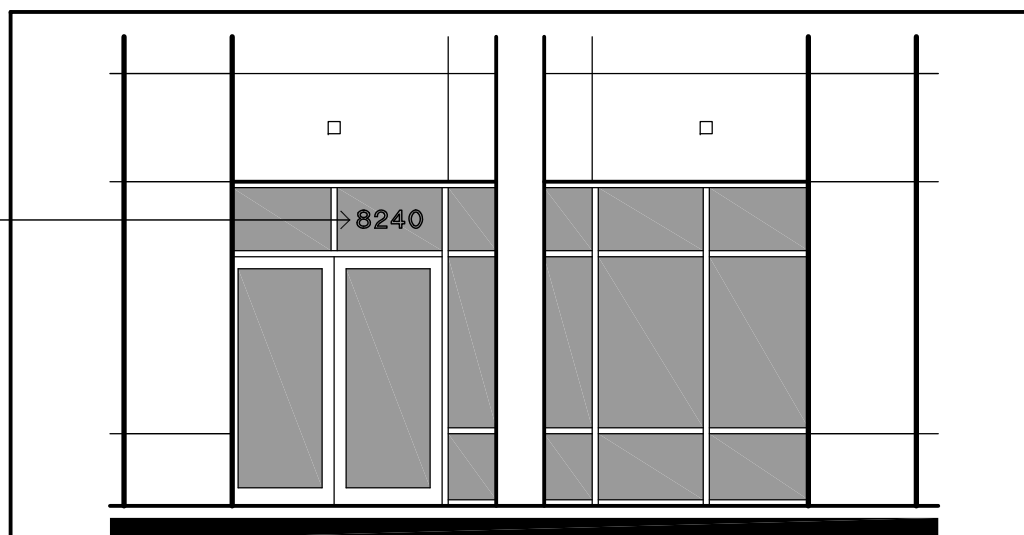


Proposed Rear Elevation 3/32"
BUILDING 65 EAST

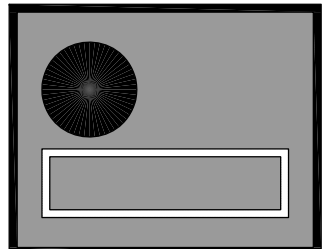
Elevations Key Notes

- 1 CONCRETE TILT-UP PANELS TO RECEIVE TEXT-COTE PAINT.
- 2 IMPACT RESISTANT WINDOWS ON CLEAR ANODIZED IMPACT RESISTANT ALUMINUM FRAMES.
- 3 3/4" PANEL JOINT
- 4 1 1/2" PANEL REVEAL
- 5 6'-0" X 1'-0" X 3/4" PANEL REVEAL SIMULATING WINDOW (PAINT ACCENT COLOR)
- 6 8'X8' DOWNSPOUTS PAINT TO MATCH BLDG.
- 7 PRE-ENGINEERED ALUMN CANOPY (WHITE).
- 8 9'-0" X 10'-0" ROLL-UP DOORS.
- 9 12'-0" X 14'-0" ROLL-UP TRUCK DOORS.
- 10 CONC. STAIR
- 11 RUBBER TRUCK DOOR BUMPERS (TYP. OF 2 PER DOOR).
- 12 FORKLIFT CONC. RAMP
- 13 DECORATIVE FOAM CAP MOLDING
- 14 DECORATIVE MOLDING
- 15 DECORATIVE MOLDING
- 16 10' HT. PRIVACY SCREEN TILT-UP WALL.
- 17 3'X3'X1/4" GALV. STEEL GUARDS. (TYPICAL 2 PER DOOR)

6" HIGH THERMOPLASTIC HELVETICA WHITE NUMBERS ADHERED TO GLASS TRANSOM ABOVE ENTRY DOORS.



Enlarged Main Entrance Elevation 3/16"



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Drawn	
Job	
Sheet	
A-4	
Of	Sheets

GENERAL ELECTRICAL NOTES:

1.0 GENERAL

1.1 WORK INCLUDED UNDER THIS DIVISION CONSISTS OF PROVIDING LABOR MATERIALS, APPLIANCES, EQUIPMENT, TOOLS, TRANSPORTATION, SUPERINTENDENCE AND SERVICES REQUIRED TO CONSTRUCT AND INSTALL COMPLETE AND PROPER OPERATING ELECTRICAL SYSTEMS AS SPECIFIED, INDICATED, AND ELSEWHERE REQUIRED.

1.2 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC 2008), FLORIDA BUILDING CODE (FBC 2010) AND ALL OTHER APPLICABLE CODES IN THEIR LATEST EDITION.

2.0 EXAMINATION OF SITE

2.1 BIDDER IS ADVISED TO VISIT THE SITE AND ACQUAINT HIMSELF WITH WORKING CONDITIONS. CONTRACTOR SHALL ACCEPT CONDITIONS AS THEY EXIST ON BID DATE.

3.0 MATERIALS

3.1 MATERIALS, EQUIPMENT AND APPLIANCES SHALL BE NEW AND OF BEST QUALITY UNLESS OTHERWISE INDICATED.

3.2 DETERMINE THAT PROPOSED EQUIPMENT CAN BE INSTALLED IN SPACE AVAILABLE. INSTALL EQUIPMENT SO PARTS ARE READILY ACCESSIBLE FOR INSPECTION AND MAINTENANCE. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR DISMANTLING EQUIPMENT TO OBTAIN ENTRANCE INTO BUILDING.

3.3 MATERIALS SHALL BEAR UNDERWRITER'S LABEL WHERE SUCH STANDARDS HAVE BEEN ESTABLISHED AND LISTED BY UNDERWRITER'S LABORATORIES, INC.

3.4 MATERIALS, EQUIPMENT AND APPLIANCES SHALL CONFORM TO LATEST STANDARDS OF: AMCA, ANSI, ASTM, NEMA, ARI & NFPA.

3.5 USE EXTREME CARE IN SELECTION AND INSTALLATION OF EQUIPMENT TO INSURE THAT NOISE AND VIBRATION ARE HELD TO ABSOLUTE MINIMUM. CORRECT OBJECTIONABLE NOISE AND VIBRATION. PROVIDE ELIMINATORS REQUIRED FOR PROPER RESULTS.

4.0 PERMITS, FEES AND CODES

4.1 COST FOR FEES, PERMITS, TESTS AND INSPECTIONS SHALL BE PAID FOR BY THIS CONTRACTOR.

4.2 INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS INCLUDING: F.B.C., N.E.C., N.F.P.A., O.S.H.A. AND STATE, COUNTY AND CITY DEPARTMENTS OF HEALTH.

5.0 COOPERATE WITH OTHER TRADES

5.1 MAKE KNOWN ARRANGEMENT OF WORK AND CHECK ARRANGEMENT AND LOCATION OF OTHER TRADES TO AVOID CONFLICTS. EXAMINE DRAWINGS OF OTHER TRADES TO DETERMINE EXACT EQUIPMENT LOCATIONS FOR ROUGH IN.

5.2 PROVIDE (FURNISH & INSTALL) POWER SUPPLY WIRING AND CONDUIT TO ALL TEMPERATURE CONTROL SYSTEMS, THERMOSTATS AND VALVE TERMINALS ELECTRICAL CONTRACTOR SHALL COORDINATE ALL LOCATIONS AND REQUIREMENTS WITH THE MECHANICAL CONTRACTOR.

6.0 OPERATING INSTRUCTIONS

6.1 CONTRACTOR SHALL PROVIDE TO OWNER OPERATION AND MAINTENANCE MANUALS. CONTRACTOR SHALL INSTRUCT OWNER OR OWNER'S REPRESENTATIVE IN OPERATION OF ALL EQUIPMENT. TYPE WRITTEN LABELS SHALL BE PLACED IN PANEL BOXES DESIGNATING CIRCUIT LAYOUTS.

7.0 INSPECTION

7.1 NOTIFY OWNER TWENTY-FOUR HOURS IN ADVANCE WHEN PIPING OR EQUIPMENT IS TO BE TESTED, BEFORE PIPING IS INSULATED OR CONCEALED, AND BEFORE TRENCHES ARE BACKFILLED.

7.2 FAILING TO COMPLY WITH THE ABOVE, CONTRACTOR SHALL UNCOVER AND RESET LINES, REPAIRING DAMAGE TO OTHER CONTRACTOR'S WORK, AS WELL AS HIS OWN.

7.3 BEFORE REQUESTING FINAL PAYMENT, INSPECT INSTALLATION TO ASSURE THAT WORK IS COMPLETE AND REQUIREMENTS OF CONTRACT HAVE BEEN FULFILLED.

8.0 CUTTING AND PATCHING

8.1 UNLESS OTHERWISE INDICATED, DO NO MORE CUTTING AND PATCHING THAN REQUIRED FOR INSTALLATION OF WORK.

8.2 CUTTING OF STRUCTURAL MEMBERS OR EXPOSED SURFACE OF CONCRETE BLOCK WILL NOT BE PERMITTED.

9.0 MATERIALS AND EQUIPMENT

9.1 CONDUCTORS: CONDUCTORS SHALL BE THWN COPPER AS NOTED ON DRAWINGS. CONDUIT SHALL BE EMT OR PVC ONLY. NO MC CABLE.

9.2 RECEPTACLES, SWITCHES & TELEPHONE OUTLETS: SHALL BE AS MANUFACTURED BY LEVITON, HUBBELL OR APPROVED EQUAL. COLOR AND STYLE AS SPECIFIED BY ARCHITECT AND/OR OWNER.

9.3 COMPUTER OUTLETS: (IF APPLICABLE) SHALL BE AS SPECIFIED BY OWNER.

9.4 PANELBOARDS

A. GENERAL: INTERRUPTING CAPACITY RATINGS SHALL BE VERIFIED AND BASED ON THE AVAILABLE SYMMETRICAL FAULT CURRENT GIVEN BY THE POWER COMPANY UPON LOCATION & INSTALLATION OF TRANSFORMER.

B. DIRECTORY: COMPLETE AT END OF JOB, TYPEWRITTEN.

C. FINISH: ANSI #61 ENAMEL OVER A RUST INHIBITING TREATMENT AFTER FABRICATION AND BEFORE ASSEMBLY. AFTER INSTALLATION, AND BEFORE ACCEPTANCE BY OWNER, ASSEMBLY SHALL BE PAINTED WITH A RUST INHIBITING PAINT (COLOR SELECTED BY ARCHITECT).

D. NAMEPLATES: PROVIDE A LAMACOID NAMEPLATE WITH 5/16" LETTERS ENGRAVED ON FRONT FACE SHOWING PANEL NAME, VOLTAGE AND PANEL RATING. COORDINATE TO GIVE SAME NAME AS SHOWN ON PANELBOARD SCHEDULE.

E. MANUFACTURERS: GENERAL ELECTRIC, WESTINGHOUSE, I-T-E, SQUARE D.

9.5 FIXTURES:

A. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL LIGHTING FIXTURES AS SPECIFIED ON DRAWINGS WITH DEVELOPER AND/OR ARCHITECT APPROVAL. VERIFY BEFORE PURCHASE AND INSTALLATION.

9.6 LAMPS: ALL LAMPS USED ON THIS PROJECT SHALL BE NEW.

DELIVERED TO THE JOB SITE IN THE ORIGINAL PACKING CASES AND SLEEVES AND SHALL BE OF THE SAME MANUFACTURER UNLESS OTHERWISE SPECIFIED.

9.7 BALLAST: ALL BALLASTS SHALL BE RATED TO OPERATE AT THE SERVICE VOLTAGE AS SHOWN AND AS SPECIFIED, PLUS OR MINUS THE DEVIATIONS WITH THE ELECTRIC SERVICE COMPANY IS ALLOWED BY FRANCHISE.

10.0 FUSES

10.1 PART 1: GENERAL

A. SUPPLY AND INSTALL ALL FUSES IN EACH FUSED DEVICE PER EQUIPMENT NAMEPLATES.

B. ALL AIR CONDITIONING, ELEVATORS, MOTORS, KITCHEN EQUIPMENT, ETC.

SHALL BE FUSED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

C. INSTALL LABELS IN ALL FUSED DEVICES INDICATING PROPER SIZE FUSE TO USE.

11.0 MISCELLANEOUS

11.1 ALL EMPTY CONDUIT TO BE SUPPLIED WITH NYLON PULL WIRE.

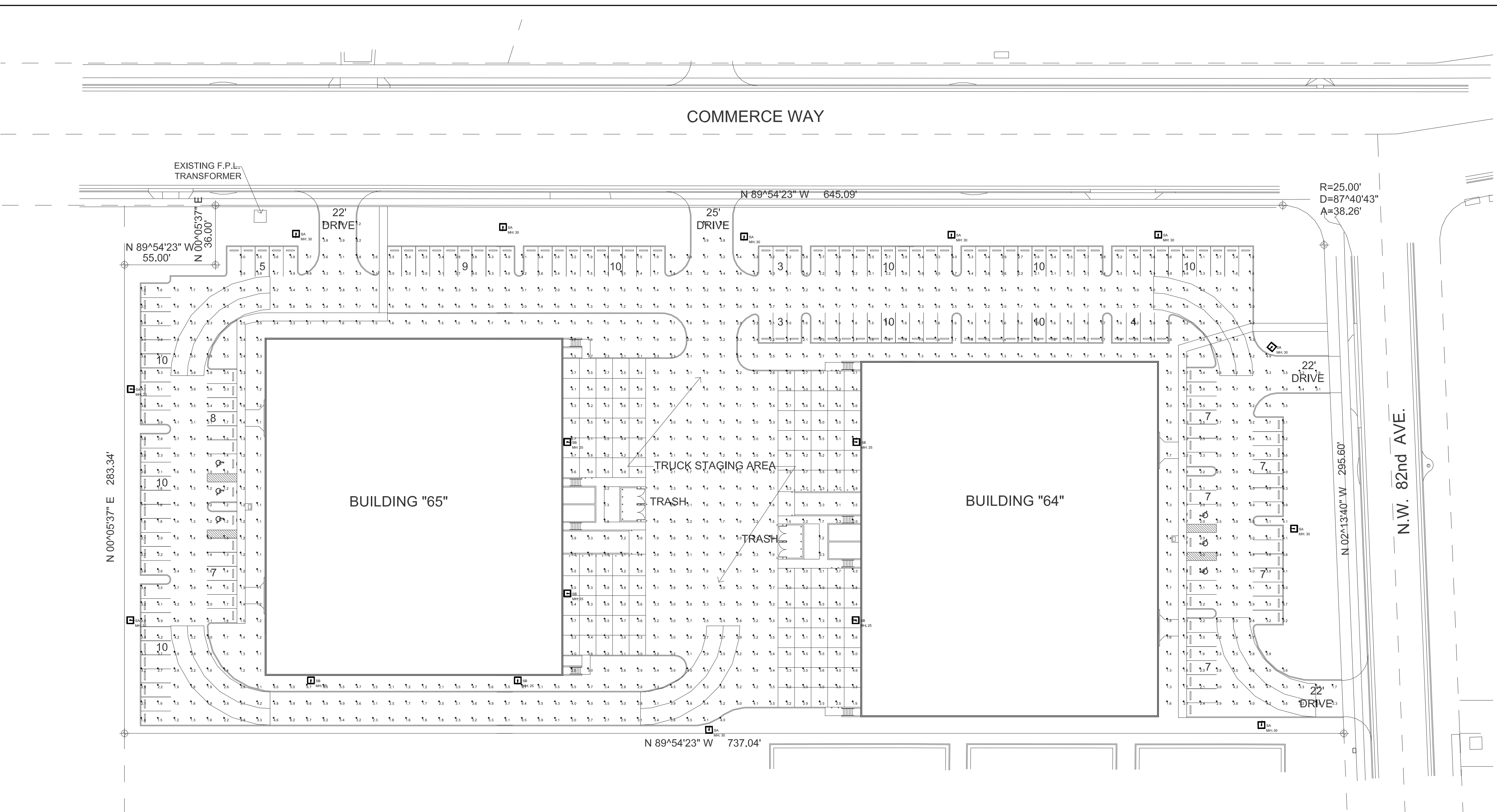
11.2 ALL FLEX CONDUIT SHALL HAVE "TITE-BITE" CONNECTORS.

11.3 ELECTRICAL CONTRACTOR TO INSTALL AND WIRE OUTLETS IN FIXTURES WHERE SHOWN ON DRAWINGS - OUTLETS TO BE INSTALLED IN FIXTURES AFTER FIXTURE INSTALLATION.

11.4 ALL DEDICATED CIRCUITS SHALL BE LABELED AS SUCH AT OUTLET.

11.5 PROVIDE (FURNISH & INSTALL) POWER SUPPLY WIRING SOURCE TO POWER CONNECTION. INCLUDE STARTERS, DISCONNECTS & REQUIRED ELECT. DEVICES. INTERLOCK WIRING, RACEWAY, CONDUITS, PULL WIRES TO MECH. SYSTEMS INCLUDING HVAC CONTROL. COORD. W/ MECH. CONTRACTOR. COORDINATE ROUTING OF POWER & CONTROL WIRING OF HVAC SPLIT SYSTEM WITH EXISTING CONDUITS & EQUIPMENT LOCATION.

11.6 PROVIDE COMPLIANCE W/ MULTIWIRE BRANCH CIRCUITS BY PROVIDING INDIVIDUAL NEUTRALS.

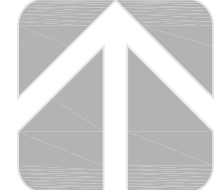


Electrical Site Plan

(Buildings #64 and #65 only)

1"=40'-0"

NORTH



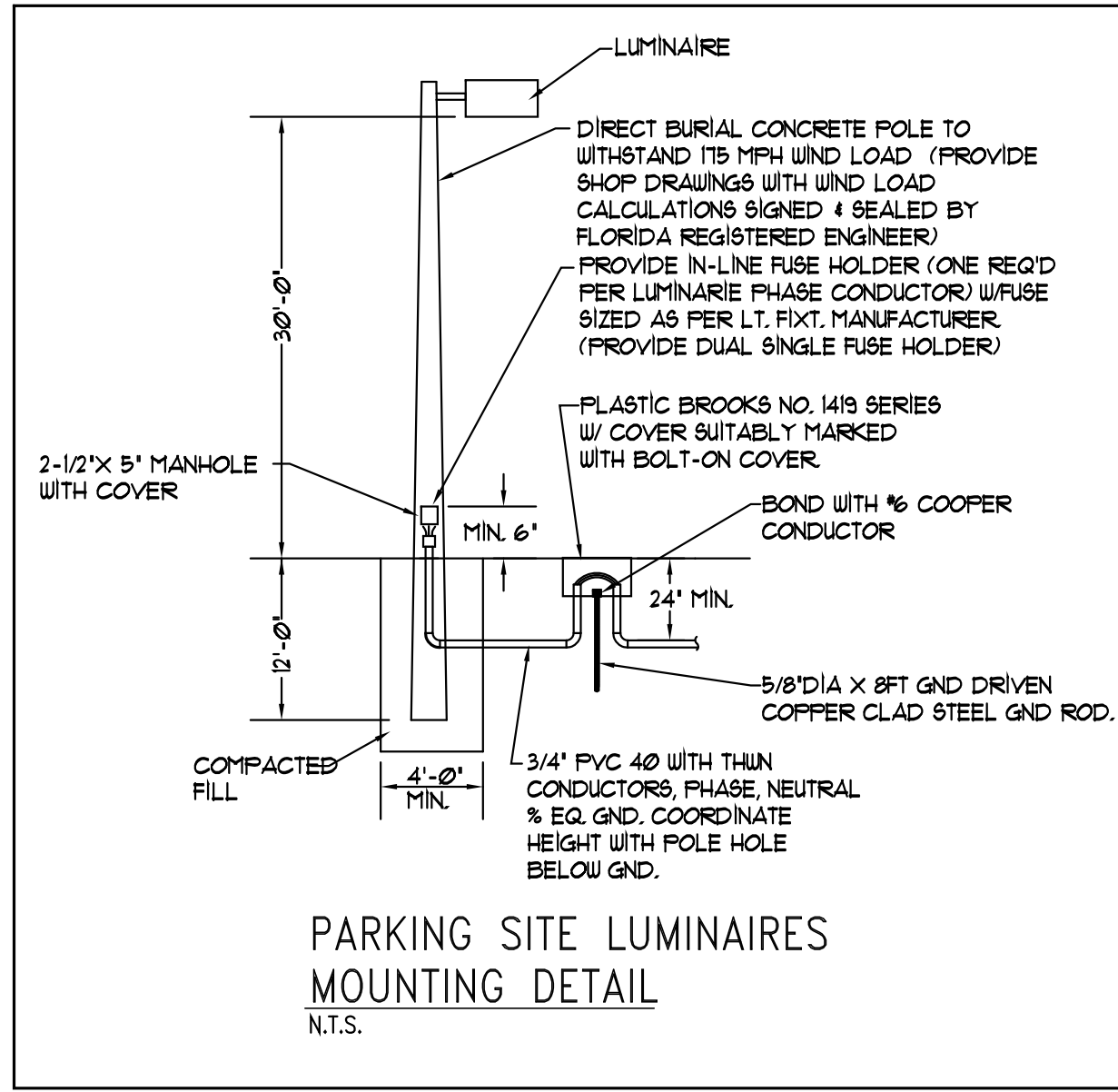
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	11	SA	SINGLE	N.A.	0.900	EATON: GLEON-AF-06-LED-E1-T4FT POLE MOUNTED
	6	SB	SINGLE	N.A.	0.900	EATON: GLEON-AF-06-LED-E1-T4FT-BUILDING MOUNTED

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	2.85	7.4	1.1	2.59	6.73
SITE FOR BUILDING 54B	Illuminance	Fc	3.21	8.3	1.0	3.21	8.30

ELECTRICAL SYMBOL LIST

- PULL OUT BOX W/ FUSES, FUSED PER EQ. NAME PLATE
- INCANDESCENT FIXTURE OUTLET CEILING MOUNTED. NUMBER INDICATES CIRCUIT, LETTER INDICATES SWITCHING ARRANGEMENT
- INCANDESCENT FIXTURE OUTLET WALL MOUNTED M.H. AS INDICATED
- FLUORESCENT FIXTURE OUTLET STRIP
- FLUORESCENT 3 LAMPS F32T8 FIXTURE EXISTING TO BE RELOCATED, REPAIRED & RELAMPED. REPLACE & ADD AS NEEDED
- FLUORESCENT FIXTURE OUTLET CEILING MOUNTED STRIP CONNECTED TO EMERGENCY CIRCUIT OR NIGHT LIGHT CIRCUIT
- EMERGENCY LIGHT WITH BATTERY BACK UP
- EXIT LIGHT CEILING MOUNTED ARROW INDICATES DIRECTION OF EGRESS
- EXIT LIGHT WALL MOUNTED ARROW INDICATES DIRECTION OF EGRESS
- SINGLE POLE TOGGLE SWITCH M.H. + 50" A.F.F.
- THREE-WAY SWITCH M.H. + 50" A.F.F.
- FOUR-WAY SWITCH M.H. + 50" A.F.F.
- DIMMER SWITCH M.H. + 50" A.F.F., FOR DIMMER SIZE SEE DIMMER SCHEDULE

- OCCUPANCY SENSOR TYPE SWITCH
- CEILING OFFICE OCCUPANCY SENSOR
- WAREHOUSE OR STORAGE OCCUPANCY SENSOR
- FLEXIBLE CONNECTION.
- HOME RUN TO PANEL. HASH MARKS INDICATE NUMBER OF WIRES. NO MARKS
- INDICATE TWO WIRES, GROUND WIRE NOT INDICATED. PROVIDE AS REQ'D BY N.E.C.
- SMOKE DETECTOR DEVICE, ELECTRICAL
- G.F.I.
- W.P.
- A.G.
- M.H.
- EM.
- N.F.
- 60 A. RATING FUSED AT 40 A. DUAL ELEMENT FUSES.
- EXISTING LIGHTS TO BE RELOCATED



PARKING SITE LUMINAIRES MOUNTING DETAIL

N.T.S.

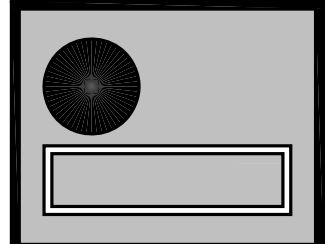
THESE SYMBOLS AND DIMENSIONS ARE FOR INFORMATION ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS AND SYMBOLS ARE TO BE USED IN CONJUNCTION WITH THE ELECTRICAL CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

- 3 W. GROUNDED DUPLEX RECEPTACLE 20 A. 150 V. M.H. + 15" A.F.F.
- 3 W. GROUNDED DEDICATED RECEPTACLE 20 A. 150 V. M.H. + 15" A.F.F.
- 3 W. GROUNDED SINGLE RECEPTACLE 30 A. 208 V. M.H. + 15" A.F.F.
- JUNCTION BOX CEILING OR FLOOR MOUNTED
- JUNCTION BOX WALL MOUNTED M.H. AS DIRECTED
- TELEPHONE OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (3/4" CONDUIT ONLY TO 6" ABOVE CEILING- NO WIRING)
- DUAL (1)VOICE/ (2) DATA OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (1" CONDUIT ONLY TO 6" ABOVE CEILING- NO WIRING)
- VOICE/ (2) DATA OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (1" CONDUIT ONLY TO 6" ABOVE CEILING- NO WIRING)
- DATA OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (3/4" CONDUIT ONLY TO 6" ABOVE CEILING- NO WIRING)
- TELEVISION OUTLET M.H. +15" A.F.F.
- THERMOSTAT M.H. + 50" A.F.F.(REFER. TO A/C DWGS FOR LOCATION)
- MOTOR OUTLET
- ELECTRICAL PANEL
- SWITCHBOARD
- FUSED DISCONNECT SWITCH W/DUAL ELEMENT FUSES

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # M-0001984

Rodriguez Pereira
Architects, Inc.

8000 NW 7th Street - Suite 103 - Miami, FL 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM



THE GRAHAM COMPANIES

Office - Warehouse facilities for:

NW 82nd AVENUE & COMMERCE WAY

TOWN OF MIAMI LAKES, FLORIDA

Owner: THE GRAHAM COMPANIES

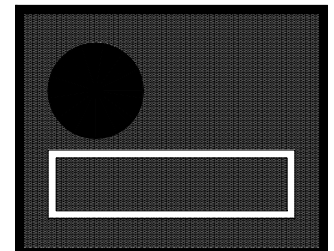
6843 MAIN STREET MIAMI LAKES, FLORIDA

PHONE : (305) 821-1130

REVISIONS	BY

NOT VALID FOR CONSTRUCTION
UNLESS SIGNED & SEALED IN THIS BOX &
ALL REVISIONS DEPARTMENT APPROVALS
ARE OBTAINED AND CORRECTLY
INCORPORATED INTO THESE DWGS.

Date	
Job	
Sheet	E-01



TREE TRANSPLANTING PROCEDURAL SPECIFICATION

PURPOSE: TO MAXIMIZE THE SUCCESS OF TREE TRANSPLANTING OPERATIONS.

ALL STANDARDS SHALL MEET OR EXCEED THE ANSI A300 (PART 6)-2006 (TRANSPLANTING) STANDARD PRACTICES AND ANY APPLICABLE LOCAL CODES.

CONTRACTOR SHALL EMPLOY AN ISA CERTIFIED ARBORIST WITH VERIFIABLE TREE TRANSPLANT EXPERIENCE AS THE 'EXPERT ARBORIST OF RECORD' TO CARRY OUT THE FOLLOWING DUTIES:

SHALL PROVIDE A TREE RELOCATION PLAN FOR APPROVAL BY THE OWNER'S AGENT BEFORE ANY WORK CAN COMMENCE.

SHALL MAKE SITE VISITS PRIOR TO ANY RELOCATION WORK TO INSPECT THAT PROPER PREPARATION WORK IS PERFORMED TO THE TREE RELOCATION GUIDELINES.

SHALL MAKE SITE VISITS DURING RELOCATION WORK TO INSURE WORK IS BEING PERFORMED TO THE TREE RELOCATION GUIDELINES.

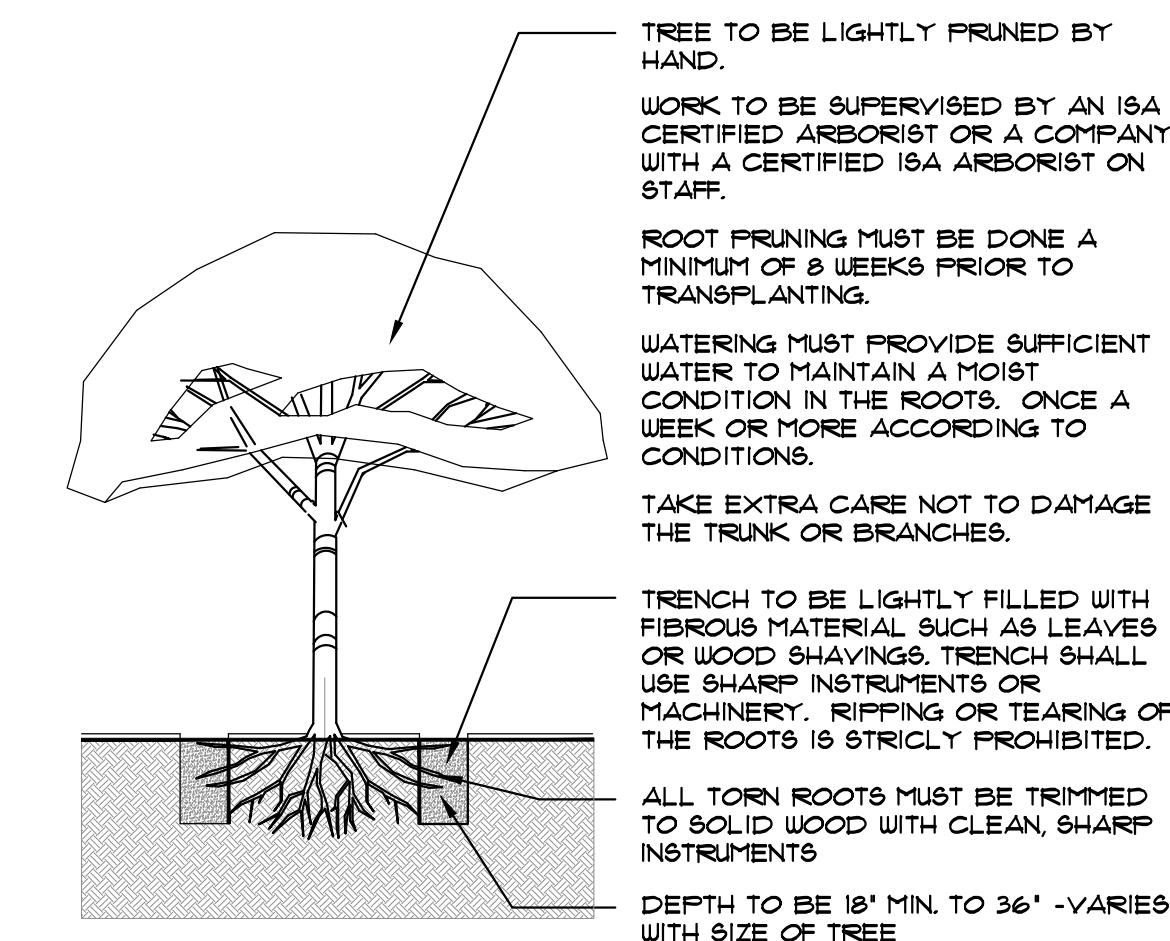
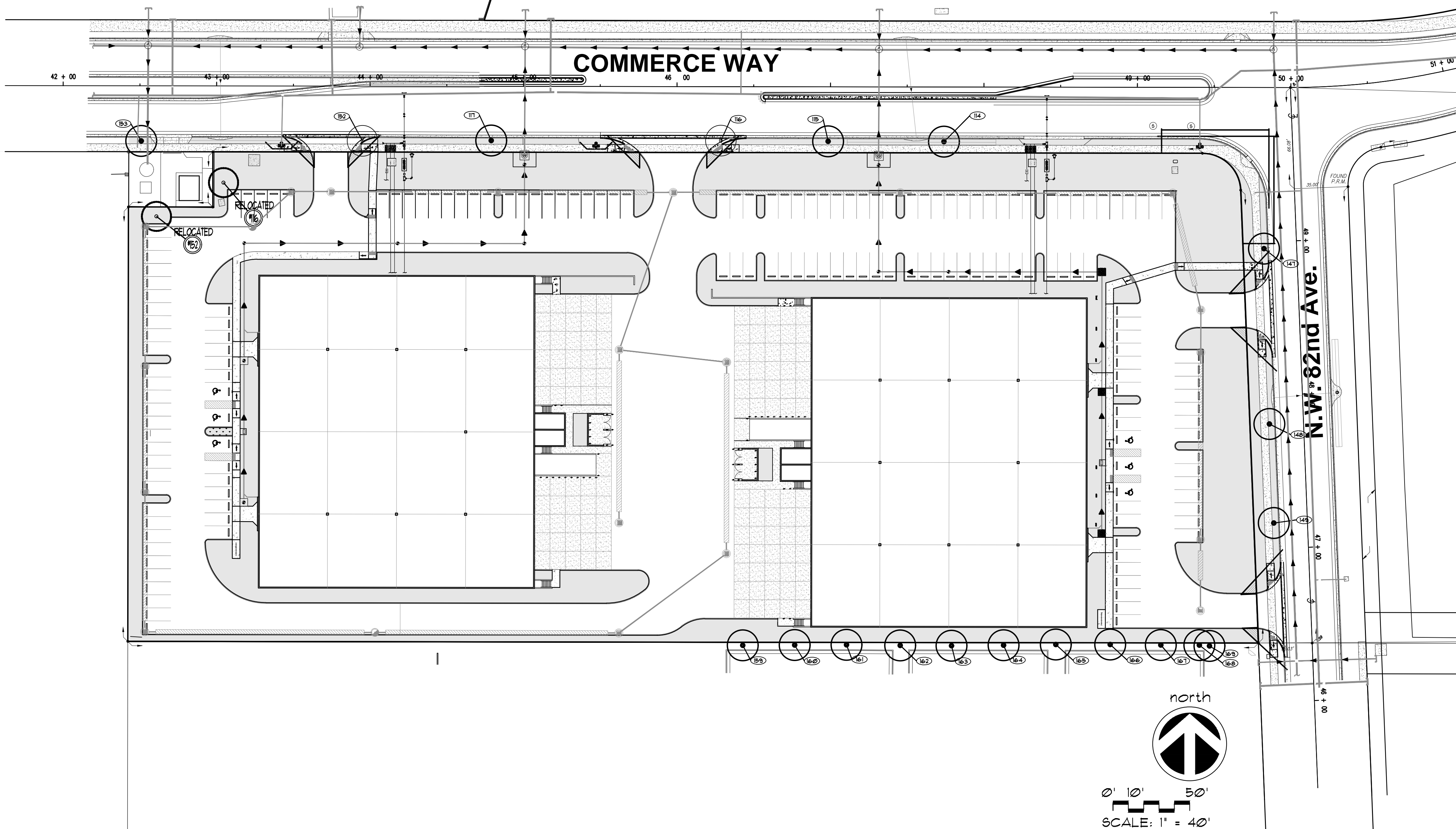
SHALL DOCUMENT ALL INSPECTIONS AND PROVIDE REPORT TO THE OWNER'S AGENT WITHIN 5 BUSINESS DAYS OF SITE VISIT.

SHALL SUBMIT PRIOR TO FINAL ACCEPTANCE BY OWNER'S AGENT, A POST-TRANSPLANT CARE GUIDE FOR UP TO THREE YEARS THAT INCLUDES WATERING, FERTILIZATION, PRUNING, PEST CONTROL, STAKING, ETC., FOR APPROVAL.

NOTES:

- SEE SHEET L-1 FOR PROPOSED TREE AND PALM LOCATIONS.
- THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (TOWN OF MIAMI LAKES). TREE PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
- LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE, EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
- ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY I, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.
- ALL TREES AND PALMS TO BE RELOCATED SHALL BE ROOT PRUNED AND CANOPY PRUNED ACCORDING TO ALL ACCEPTED STANDARDS AS DEFINED BY THE NATIONAL ARBORIST ASSOCIATION, AND ALL PRE AND POST-TRANSPLANT OPERATIONS SHALL BE COORDINATED WITH UTMOST CARE TO MINIMIZE DAMAGE AND TRANSPLANT SHOCK. WATERING-IN AND WATERING SCHEDULES SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR REVIEW AND APPROVAL PRIOR TO RELOCATION.
- ALL TREES AND PALMS TO BE RELOCATED SHALL BE STAKED AND BRACED TO INSURE STABILITY AND MINIMIZE ROOT DAMAGE DURING THE PLANT ROOT RECOVERY PERIOD.
- CONTRACTOR SHALL VERIFY WITH THE PROJECT SUPERINTENDENT THE PROPOSED LANDSCAPE AREAS PRIOR TO TREE AND PALM RELOCATION TO INSURE PROPER RELOCATION AND MINIMIZE ANY FIELD DISCREPANCIES WITH RESPECT TO PROPOSED PAVING, BUILDINGS, AMENITIES, ABOVE AND BELOW GROUND UTILITIES AND LIMITS OF PROPERTY.
- CONTRACTOR SHALL ESTABLISH AN IRRIGATION SYSTEM TO PROVIDE FOR PRE AND POST-TRANSPLANT IRRIGATION SCHEDULING. TREE AND PALM FERTILIZATION SHALL BE ESTABLISHED CONCURRENTLY WITH IRRIGATION PRE AND POST-FERTILIZATION. THIS PROCEDURE SHALL BE CONDUCTED TO OPTIMIZE PLANT ESTABLISHMENT.
- CONTRACTOR SHALL COORDINATE WITH THE PROJECT SUPERINTENDENT TO PLANT ALL RELOCATED TREES AND PALMS AT THE FINAL GRADE OF SITE.
- SEE 'ROOT PRUNING DETAIL' AND 'TREE TRANSPLANT DETAIL' AS SHOWN ON THE PLANS.

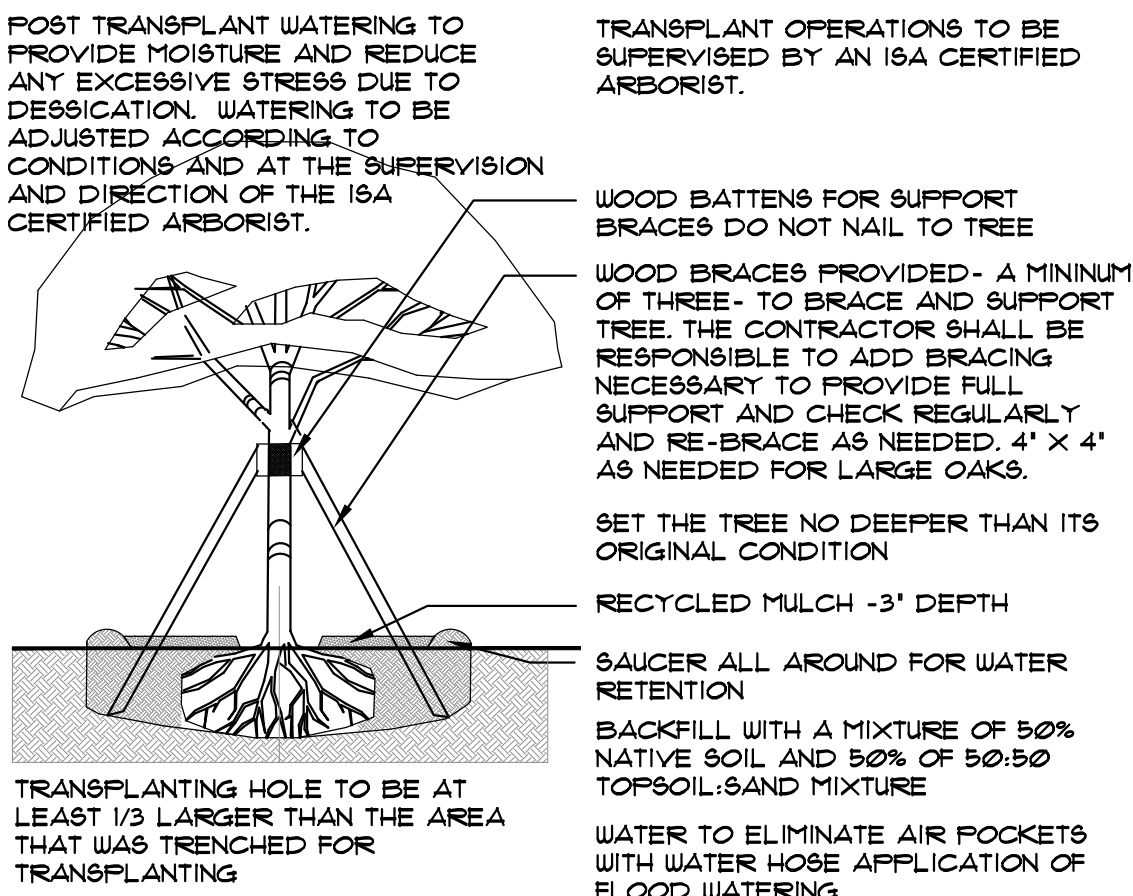
REMOVAL OF ANY AND ALL TREES AND PALMS
WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT
FROM THE TOWN OF MIAMI LAKES.



ROOT PRUNING DETAIL

REF: 'THE LANDSCAPE MANUAL' DADE CO.
DEPT. OF PLANNING & ZONING, 2001

N.T.S.



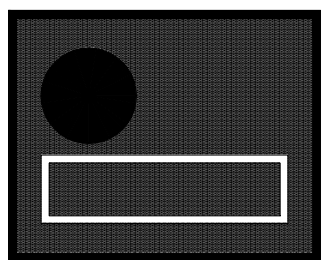
TREE TRANSPLANT DETAIL

REF: 'THE LANDSCAPE MANUAL' DADE CO.
DEPT. OF PLANNING & ZONING, 2001

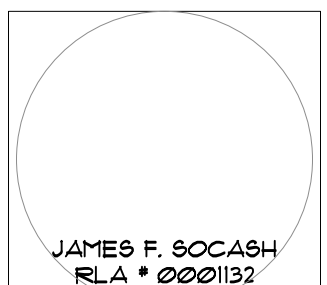
N.T.S.

TREE NUM	SYM	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	DBH inches	STATUS	CANOPY	CANOPY LOSS	DBH LOSS	PALM LOSS	REMARKS
114	QV	LIVE OAK	Quercus virginiana	22	22	9	REMAIN	380				
115	QV	LIVE OAK	Quercus virginiana	24	22	16	REMAIN	380				
116	QV	LIVE OAK	Quercus virginiana	22	24	12	RELOCATE	452				IN SIGHT TRIANGLE
117	QV	LIVE OAK	Quercus virginiana	25	22	14	REMAIN	380				
147	QV	LIVE OAK	Quercus virginiana	10	10	4	REMAIN	79				
148	QV	LIVE OAK	Quercus virginiana	24	25	16	REMAIN	491				
149	QV	LIVE OAK	Quercus virginiana	20	20	7	REMAIN	314				
152	QV	LIVE OAK	Quercus virginiana	18	20	18	RELOCATE	314				IN SIGHT TRIANGLE
153	QV	LIVE OAK	Quercus virginiana	24	30	22	REMAIN	707				IN FRONT AT LIFT STATION
159	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
160	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
161	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
162	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
163	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
164	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
165	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
166	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
167	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
168	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
169	SP	SABAL PALM	Sabal palmetto				REMAIN					OFF-SITE
TOTALS								3,497				
FIELD VERIFICATION DONE ON SEPTEMBER 9, 2016												

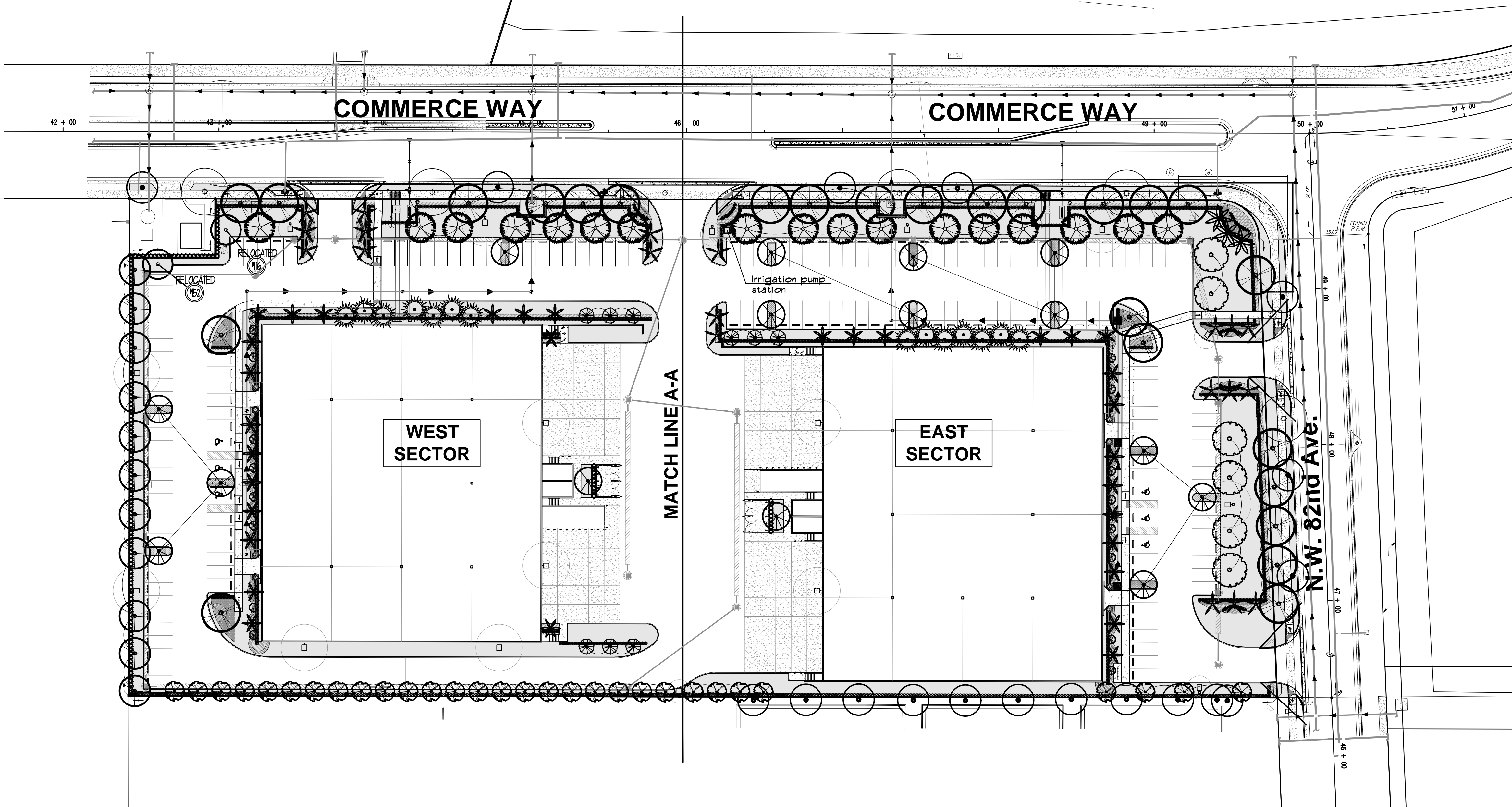
TREE DISPOSITION PLAN



REVISIONS	BY
1. Per Town Staff Review Comments on 1/26/16 (RPS)	



Date	09-17-16
Scale	
Drawn	
Job	
Sheet	L-1
Of	Sheets

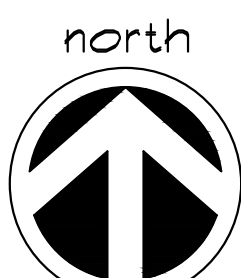


LANDSCAPE LEGEND - TOWN OF MIAMI LAKES-ORD. 12-151-SITE DATA

ORDINANCE 12-151		
ZONING DISTRICT: 1U-C	NET LAND 5.30 ACRES	231,198 SF.
OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by TOWN OF MIAMI LAKES, Chapt. 13, as indicated on site plan: Net lot area = 231,198 s.f. x 2.0 % =	46,240	48,746
B. Square feet of parking lot open space required by Chapter 13, on site plan: 164 SURFACE SPACES X 10 SF/SPACE	1,640	1,640
C. Total s.f. of open space required by Chapter 13: A + B =	47,880	50,386
LAWN AREA CALCULATION	47,880	50,386
B. Maximum lawn area (sqd) permitted, required by Chapter 13, on site plan: 2 x 47,880 s.f. =	95,760	95,760
TREES: 22 per Acre		102 Prop. trees + 25 palms (50 palms / 2 = 25) not including st. trees and palms
A. No. trees required per net lot acre space Less existing no. of trees meeting min. required	117	127
B. % Palms Allowed: No. of trees provided 30 x 30% =	36	25 (50 palms/2) not including st. palms
C. % Natives Required:	36	93 not including st. trees
D. Street Trees (maximum average spacing of 25' o.c.) linear feet along street /35' No. of trees provided x 30% =	30	30
E. Street Trees located directly beneath power lines, Max. ave. spacing of 25' oc	-	-
TOTAL NUMBER OF TREES REQUIRED	147	157
SHRUBS:		
A. No. trees required x 10% No. of shrubs allowed	1,470	1,640
B. No. shrubs allowed x 30% = No. of Native shrubs required	441	1,560 (95%)

STREET TREE TABULATIONS

	REQUIRED	PROVIDED
Commerce Way 119 L.F. , 1 TREE/ 35 L.F. = 21 TREES	21	21 4 EXIST. + 15 QV + 2 (4 WB palms/2)
N.W. 82nd Ave. 319 L.F. , 1 TREE/ 35 L.F. = 9 TREES	9	9 3 EXIST. + 6 QV
TOTALS	30	30



0' 10' 50'
SCALE: 1" = 40'

REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE CITY OF MIAMI LAKES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE TD-1, FOR TREE DISPOSITION PLAN, TREE INVENTORY, STATUS AND DISPOSITION.

SEE SECTOR LANDSCAPE PLANS, L-2, L-3, L-4 FOR PLANTING PLANS, PLANTLIST, DETAILS, SPECIFICATIONS, ETC.

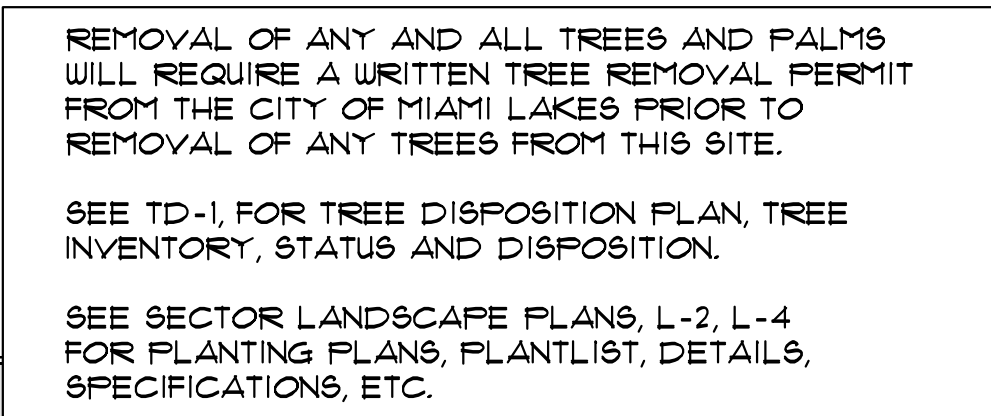
SITE LANDSCAPE PLAN

PLANTLIST

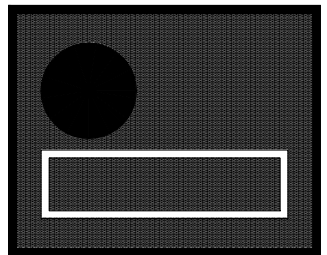
SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
EXISTING TREES TO REMAIN- ON SITE				
SEE TREE DISPOSITION PLAN, SHEET TD-1				
PROPOSED TREES				
B5	YES	6 GUMBO LIMBO	Bursera simaruba	12' x 6' apr., 2 1/2' cal.
CD	YES	12 PIGEON PLUM	Coccoloba diversifolia	12' x 6' apr., 2 1/2' cal.
CE	YES	11 GREEN BUTTONWOOD	Conocarpus erectus	12' x 6' apr., 2 1/2' cal.
IC	YES	30 DAHOON HOLLY	Ilex cassine	12' x 5' apr., 2' cal.
TL		9 TREE LIGUSTRUM	Ligustrum japonicum	FL., FANCY, 8' x 8' full crown
LL	YES	17 WILD TAMARIND	Lysiloma latissilica	12' x 6' apr., 2 1/2' cal.
PEL	YES	14 SLASH PINE	Pinus elliotii	FG, RFG, 12' o.a., 3' cal.
QV	YES	24 LIVE OAKS	Quercus virginiana	12' x 6' apr., 2 1/2' cal.
PALMS				
RE	YES	3 ROYAL PALMS	Roystonea elata	6' GW, 25' o.a. full head
VM2		32 MONTGOMERY PALMS	Veitchia montgomeryana	DBL. TK, FG, 12' o.a., full hd.
WB		20 FOXTAIL PALMS	Wodyetia bifurcata	12' o.a., 5' e dbh, full hd
SHRUBS				
ACA	40	COPPER LEAF ACALYPHA	Acalypha sp.	3 gal., 24" x 24", 24" o.c., full
CAM	YES	20 BEAUTYBERRY	Callicarpa americana	3 gal., 18" x 18", 24" o.c., full
CCT	YES	110 JAMAICA CAPER	Capparis cynophallophora	1 gal., 30" x 24", 24" o.c. full
CIT	YES	111 COCOPLUM	Chrysobalanus icaco	1 GAL., 30" x 24" full, 24" o.c.
CRT	YES	168 SMALL-LEAVED CLUSIA	Clusia guttifera	1 GAL., 36" ht., 30" o.c., FTB.
CRO	40	CROTON 'PETRA'	Codiaeum variegatum	3 gal., 18" x 18", 18" o.c., full
CEH	YES	370 GREEN BUTTONWOOD	Conocarpus erectus	3 gal., 24" x 24", 24" o.c., full
HPD	YES	175 DWARF FIREBUSH	Hamelia nodosa	3 gal., 18" x 18", 18" o.c.

PLANTLIST

SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
ACCENT PLANTS AND GROUNDCOVERS				
MEY	144	FOXTAIL FERN	Asparagus densel. 'Myers'	3 gal., 14' x 12' full
BUD	YES	80 BUTTERFLY BUSH	Buddleia officinalis	3 gal., 18' x 18', 18' o.c. full
BLB	YES	105 BULBINE-DESERT CANDLES	Bulbine frutescens	1 gal., 12' x 8', 12', 12' o.c.
CAT	40	CAT PALMS	Chamaedorea cataractarum	1 gal., 30' x 24', 30' o.c.
BL3	853	BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal., 12' x 18', 18' o.c., full
FG3	330	'GREEN ISLAND' FICUS	Ficus 'Green Island'	3 gal., 18' x 18', 18' o.c., full
NEP	YES	335 BOSTON FERN	Neprolepis exaltata	1 gal., 12' x 12' full, 15' o.c.
PEN	80	EGYPTIAN STAR CLUSTER	Pentas lanceolata	1 gal., 10' x 10', 14' o.c., full
RHA	8	LADY PALMS	Rhapis excelsa	5'o.a., FTG., sun acclimated
DC5	16	DESERT CASSIA	Senna polyphylla	6'-8' x 5'apr. 2' cal.
SOD				
FLO	40,000 SF.	'FLORATAM' ST. AUGUSTINE	Stenotaphrum secundatum	SOLID SOD, price per s.f.
TOPSOIL:				
TOPSOIL:SAND MIX		50:50 TOPSOIL:SAND MIX, SPREAD IN PLACE		
75 C.Y.		TREES, PALMS, SHRUBS AND GROUNDCOVERS		
200 C.Y.		AREA TO BE SODDED WITH A 2' DEPTH OF TOPSOIL SPREAD IN PLACE		
MULCHING:				
120 C.Y.-/-		'MINI-NUGGETS' PINE BARK 3' DEPTH, SPREAD IN PLACE, ATLAS FEAT AND SOIL		
		PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION		
---		TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.		



WEST SECTOR LANDSCAPE PLAN



1.	For Town Staff Review Comments on 11/26/16 (RPS)	

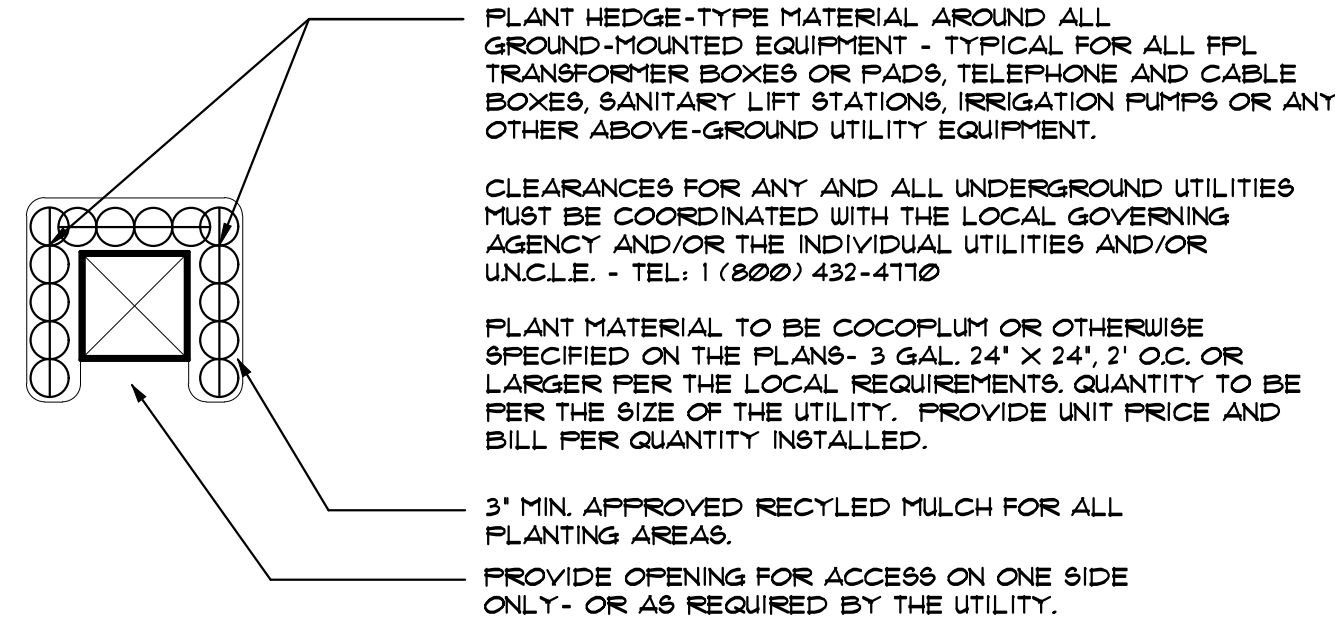
LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.

SODDED-LAWN AREAS:
2' DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
GROUNDCOVER PLANTING BEDS:
6' DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
SHRUB AND HEDGE PLANTING AREAS:
12' DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
TREES, PALMS, SPECIMEN PLANT MATERIAL:
24' DEPTH PLANTING SOIL SPREAD IN PLACE OR, TO THE DEPTH OF THE ROOTBALL, OR CONTAINER WHICHEVER IS GREATEST.
LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:
EXCAVATE AND REMOVE ALL LIMEROCK, ROCKS, DEBRIS, ETC. TO A DEPTH OF 12" AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX.
BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
- THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT.

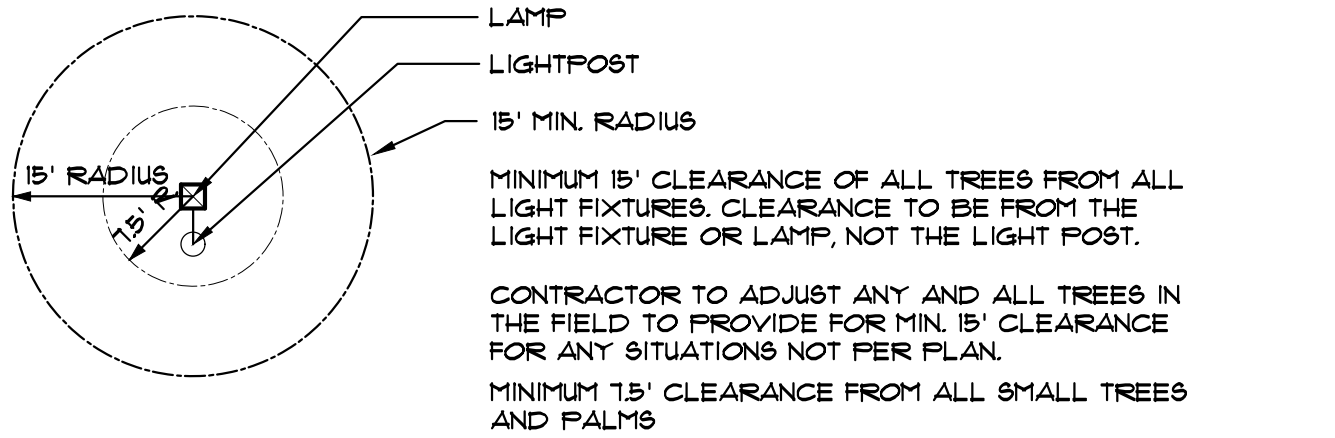
OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 'NO CUTS' AS REQUIRED BY LAW.
- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.
- SOD SHALL BE ARGENTINE 'BAHIA' OR ST. AUGUSTINE 'FLORATAM' AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.
- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FDOT. SOD SHALL CARRY A 5-MONTH WARRANTY.
- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROVERS LANDSCAPE ASSOCIATION (FNLGA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP, AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX 'F' IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.
- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING-IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS 'TENAX' PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.
- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
- ALL EXISTING TREES AND PALMS SHALL BE 'LIFTED AND THINNED' TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN 'TREE REMOVAL PERMIT' FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.
- ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SUALES, ETC. SHALL BE WATERED-IN AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.

REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE TOWN OF MIAMI LAKES.



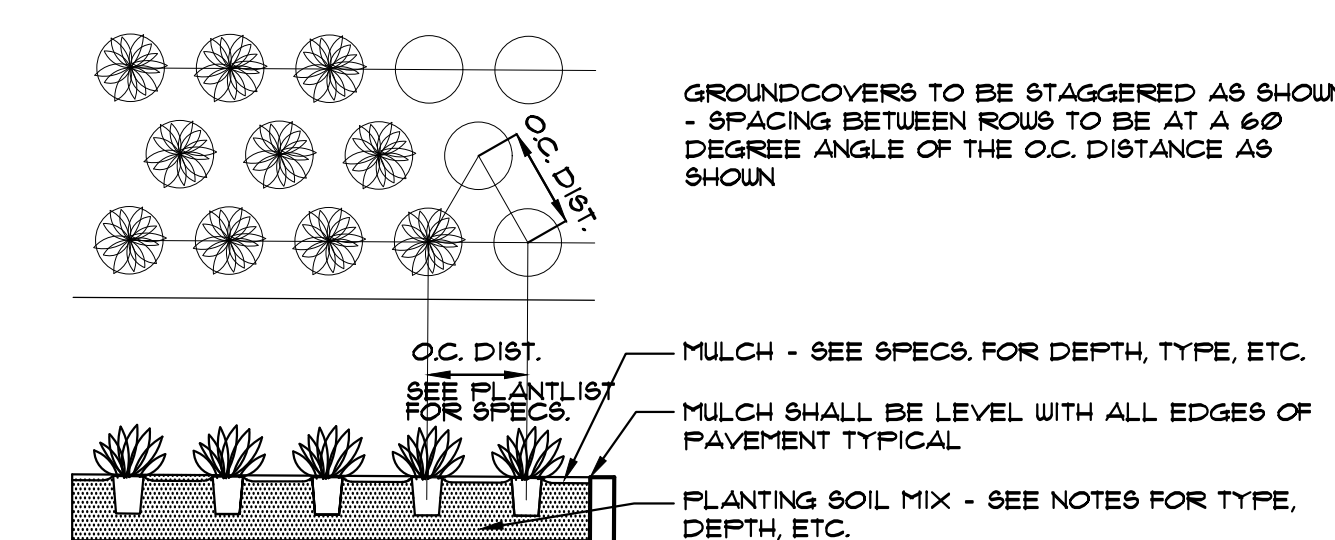
TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT

N.T.S.



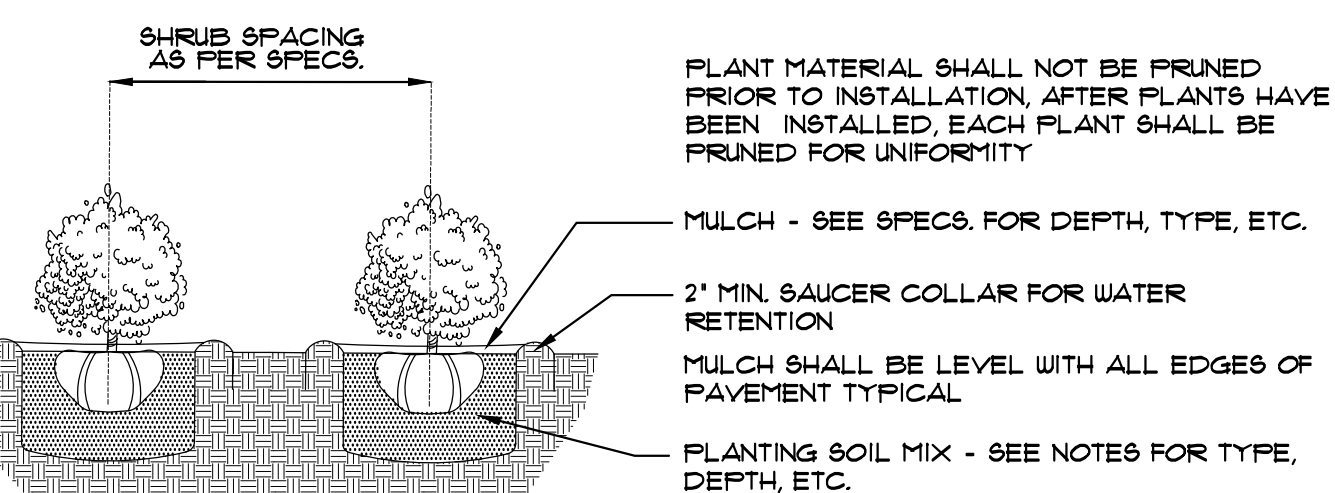
MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES

N.T.S.



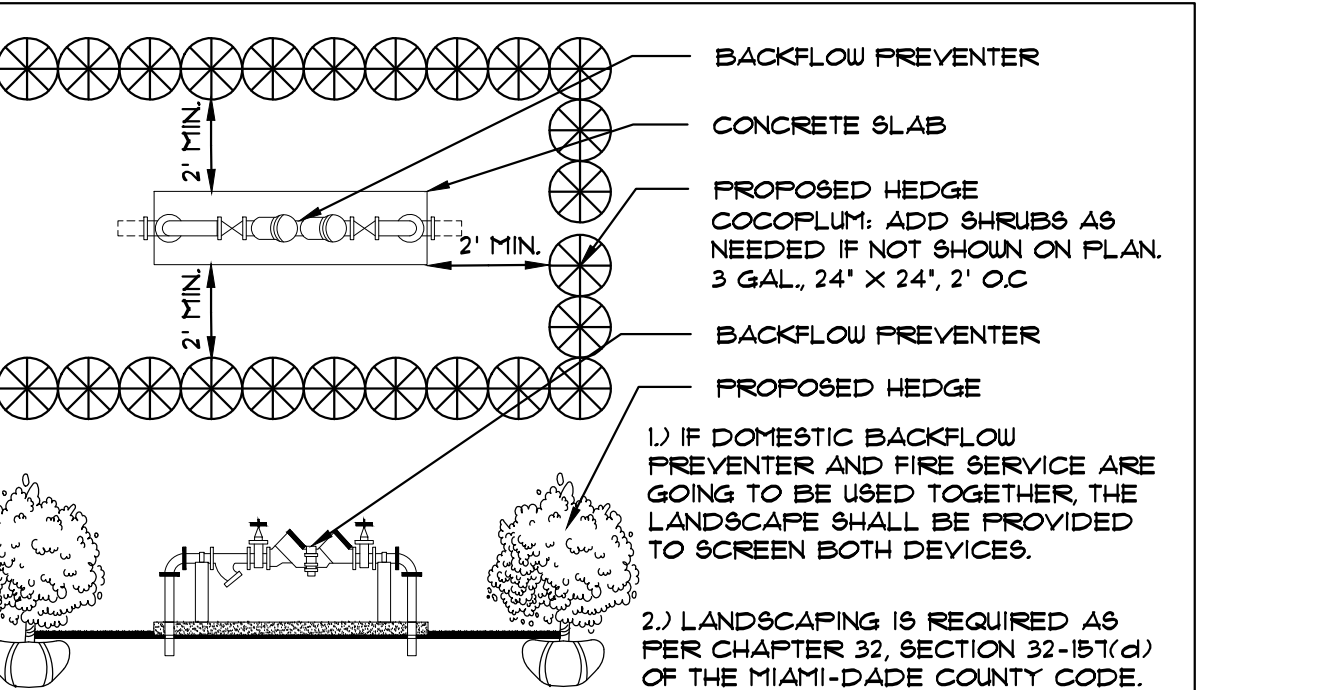
GROUNDCOVER DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES

N.T.S.

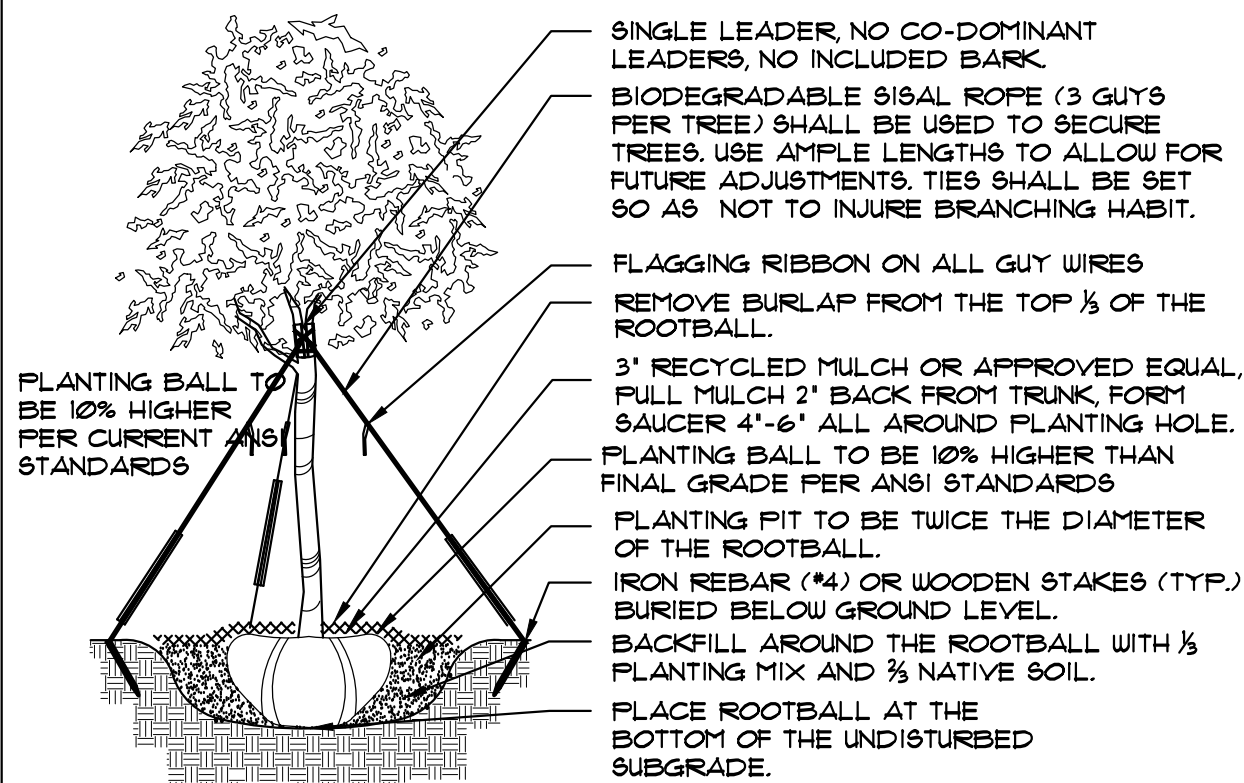
PLANTING SOIL:

NOTE: ALL LANDSCAPED AREAS INCLUDING LANDSCAPE ISLANDS, SHALL BE EXCAVATED TO A DEPTH OF 20 FEET FOR REMOVAL OF ALL COMPACTED MATERIAL, LIMEROCK, ETC. AND BACKFILLED WITH A CLEAN, APPROVED BACKFILL. 50:50 TOPSOIL SHALL BE APPLIED TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND A 2' DEPTH FOR ALL SOD AREAS. THE CONTRACTOR SHALL CALCULATE AND PROVIDE A UNIT AND AN EXTENDED PRICE FOR THIS ITEM.

FERTILIZATION:

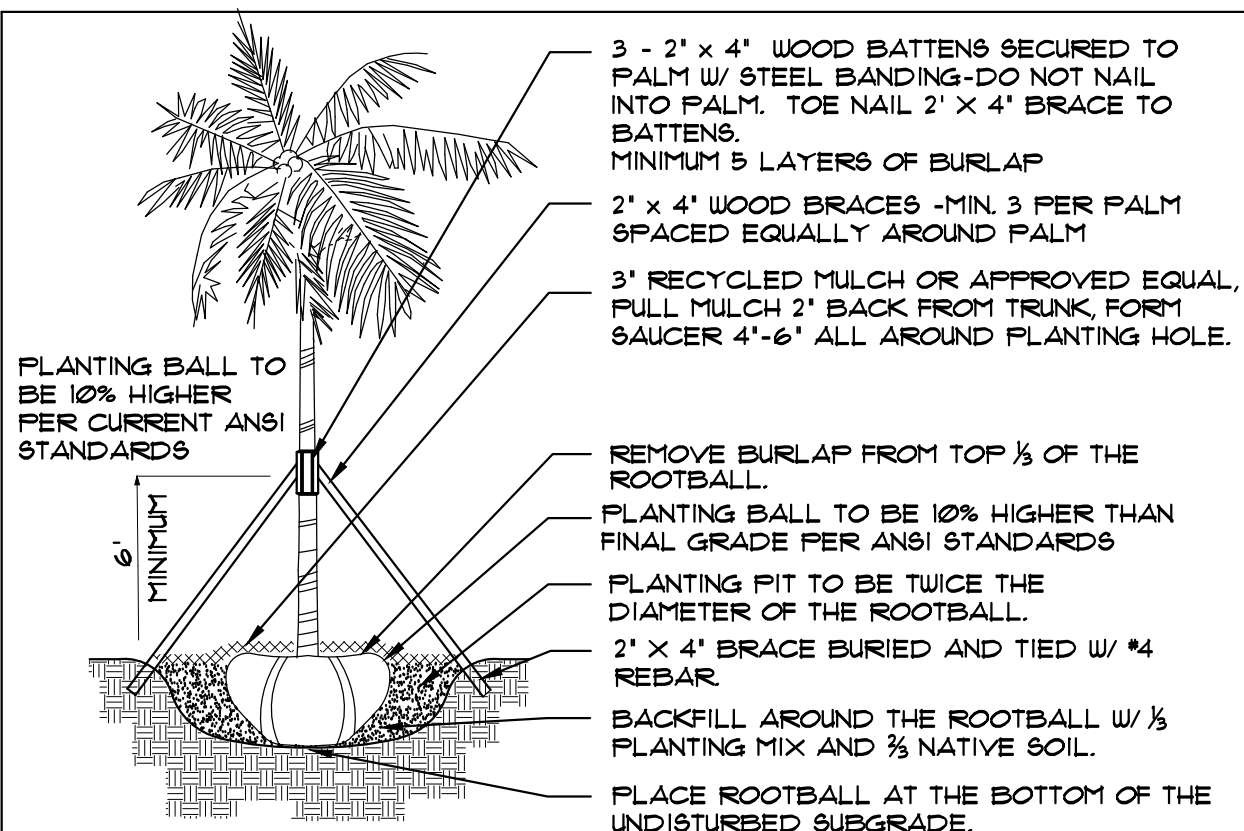
ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC -AFEC FERTILIZER & CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC # 5231) RATE: 15 LBS/ INCH OF DIA. & DBH PALMS: 12-04-12 (AFEC # 1216) RATE: 15 LBS/ INCH OF DIA. & DBH SHRUBS AND GROUNDCOVERS: (12-06-08 AFEC # 5231) RATE: 15 OZ/ FT. OF HEIGHT



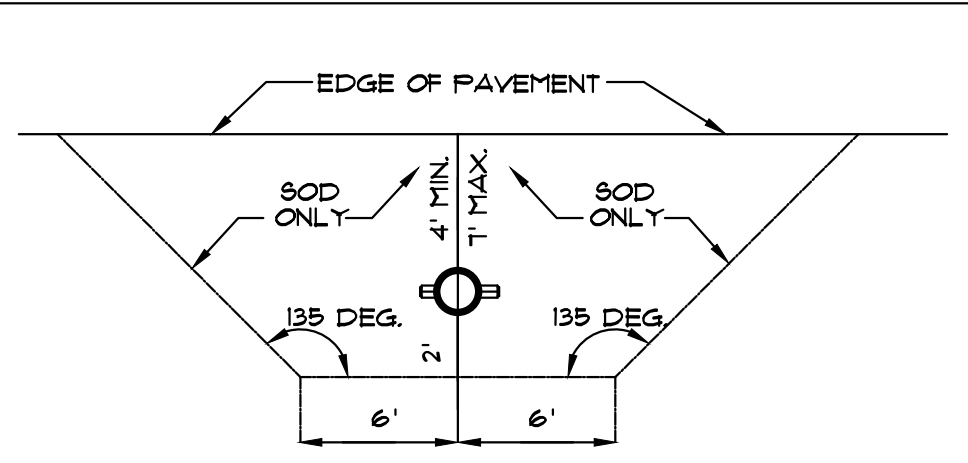
TREE PLANTING DETAIL

N.T.S.



PALM PLANTING DETAIL

N.T.S.



REQUIREMENTS APPLY TO FIRE HYDRANTS, SIAMSESE CONNECTIONS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE, ON PUBLIC OR PRIVATE PROPERTY.

BY THE AUTHORITY OF THE SOUTH FLORIDA FIRE PREVENTION CODE SECTION 5212

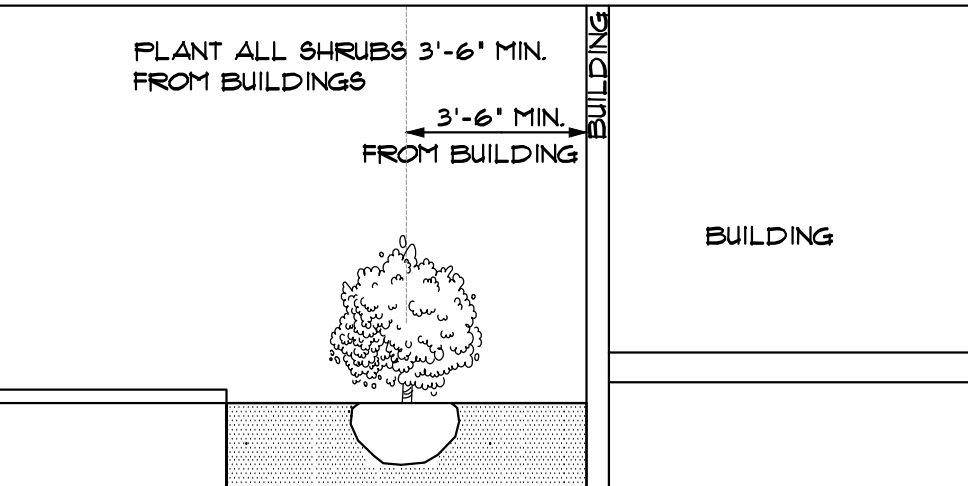
THIS DIAGRAM SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL.

THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOD), MAILBOXES, PARKING, LAMP-POSTS AND ALL OTHER OBJECTS.

EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT OR TRAFFIC POSTS TO PREVENT FIRE FIGHTING EQUIPMENT.

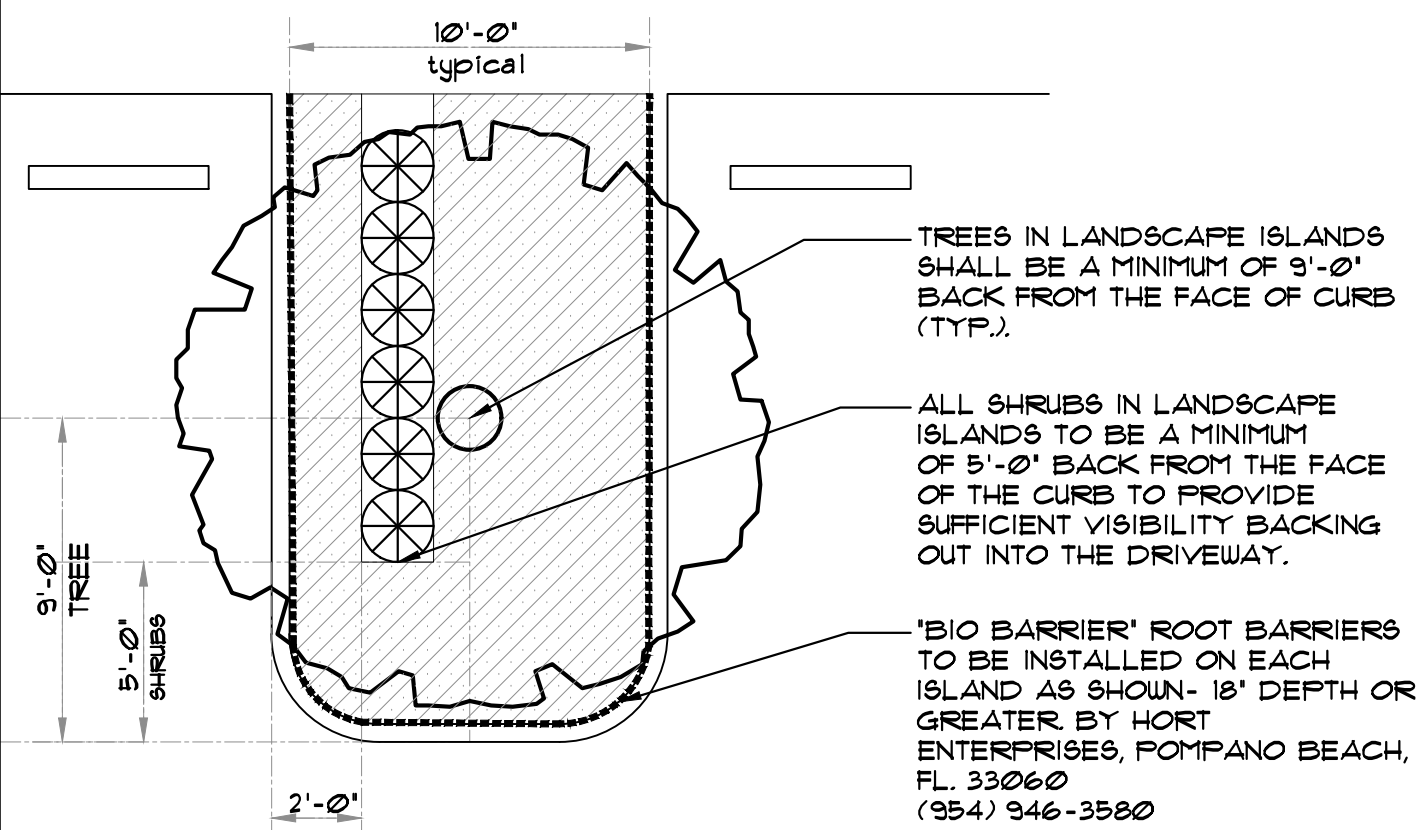
FIRE HYDRANT CLEAR ZONE

N.T.S.



SHRUB PLANTINGS BUILDING DETAIL

N.T.S.



TYPICAL LANDSCAPE ISLAND PLANTING STANDARDS

N.T.S.

Schneble
Shubin &
Associates, Inc.
LAND SURVEYORS
CIVIL ENGINEERS
PLANNING
LIBERTY
8240 CORPORATE WAY
MIRAMAR, FL 33005
TEL: (954) 865-8240
FAX: (954) 865-8244

REVISIONS	DATE	BY	DESCRIPTION



NOTED: SEE ALL DIMENSIONS FOR ALL DIMENSIONS OF THE PROJECT. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE ROAD OR R/W. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE ROAD OR R/W. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE ROAD OR R/W.

BUILDING 64&65

PAVING, GRADING AND DRAINAGE
OVERALL PLAN
TOWN OF MIAMI LAKES, FLORIDA SEC. 22, Twp. 52, Rge. 40

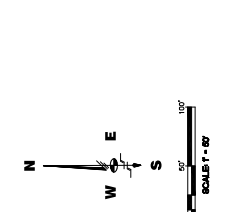
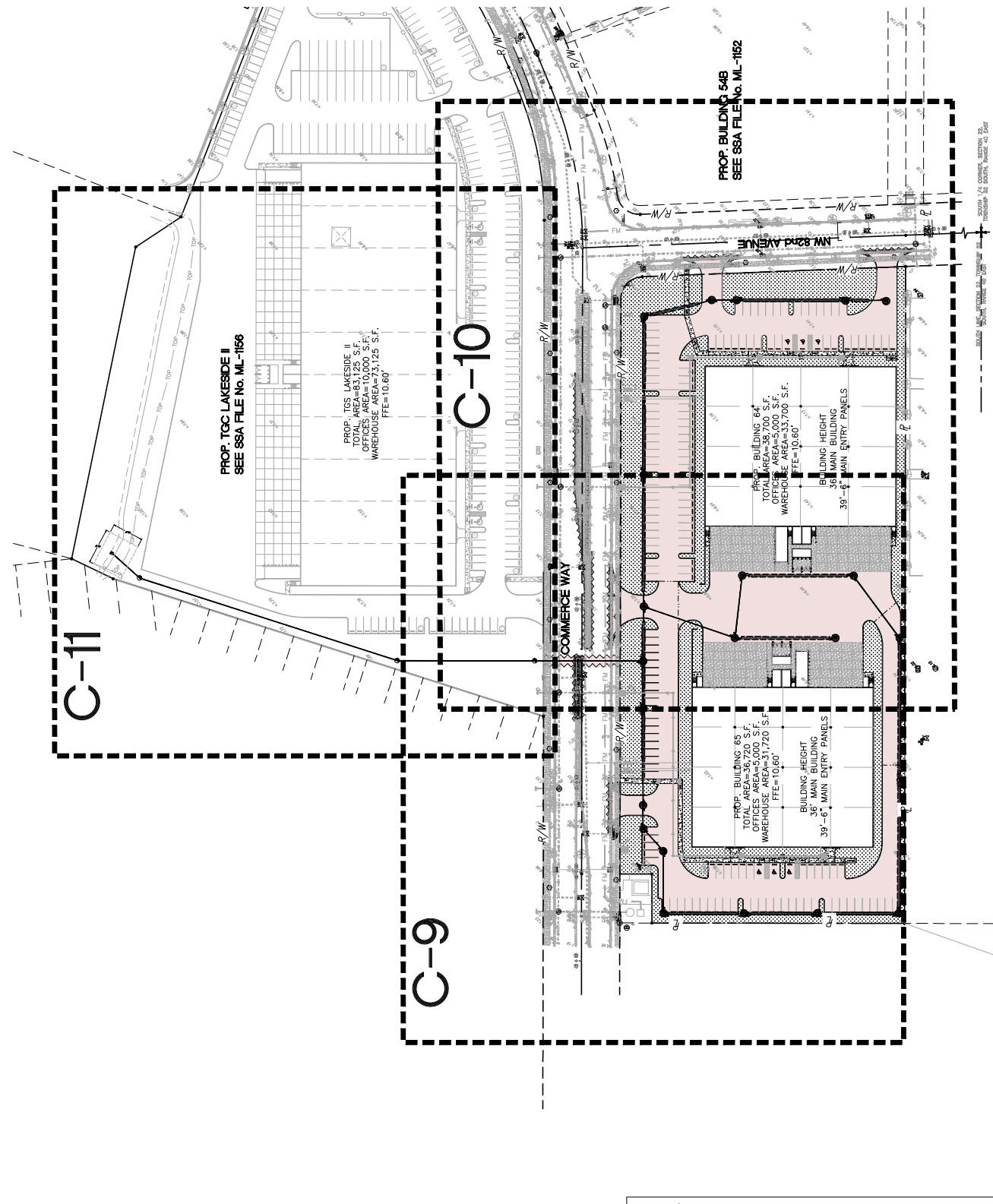
Drawn By: J. Schmeble Date: 06/19/10
Checked By: J. Schmeble Date: 06/19/10
Date: 06/19/10
Drawing Scale: PERMIT SET

By: J. Schmeble
J. Schmeble, P.E.
Professional Engineer No. 71567
State of Florida

Scale: As Noted
File No: ML-1153

Dwg. No: C-8

OF: 1-12



- EXISTING FEATURES LEGEND:**
- ⊙ DENOTES EXISTING FIRE HYDRANT
 - ⊙ DENOTES EXISTING ELEVATIONS
 - ⊙ DENOTES WATER VALVE
 - ⊙ DENOTES WOOD LIGHT POLE
 - ⊙ DENOTES WOOD POWER POLE
 - ⊙ DENOTES PROPERTY LINE
 - ⊙ DENOTES RIGHT OF WAY LINE
 - ⊙ DENOTES SANITARY SEWER CLEANOUT
 - ⊙ DENOTES SANITARY SEWER MANHOLE
 - ⊙ DENOTES FORCE MAIN VALVE
 - ⊙ DENOTES F.P.I. ELECTRIC MANHOLE
 - ⊙ DENOTES F.P.I. TRANSFORMER PAD
 - ⊙ DENOTES CATCH BASIN
 - ⊙ DENOTES EXISTING TREE
 - ⊙ DENOTES EXISTING PAVING
 - ⊙ DENOTES IRRIGATION VALVE
 - ⊙ DENOTES GUARD POST
 - ⊙ DENOTES STORM SEWER MANHOLE
 - ⊙ DENOTES SIGN POST
 - ⊙ DENOTES ALUMINUM POST

- PROPOSED FEATURES LEGEND:**
- 6.30' DENOTES PROPOSED ELEVATION
 - ⊙ DENOTES PROPOSED FRENCH DRAIN W/INLET
 - 3.0' DENOTES PROPOSED INVERT ELEVATION
 - 3.0' DENOTES PROPOSED INVERT ELEVATION
 - ⊙ DENOTES PROPOSED SLOPE TIPS
 - ⊙ DENOTES SLOPE TIPS
 - ⊙ DENOTES PROPOSED ROCE LINE
 - ⊙ DENOTES RAMP UP DIRECTION
 - ⊙ DENOTES PROPOSED SIGN
 - ⊙ DENOTES PROPOSED WHEEL STOP
 - ⊙ DENOTES PROPOSED CENTERLINE
 - ⊙ DENOTES MATCH EXISTING GRADE
 - ⊙ DENOTES PROPOSED SWA/CUT LINE
 - ⊙ DENOTES PROPOSED CONCRETE (SEWER/CURB OR MEDIAN)
 - ⊙ DENOTES PROPOSED PAVING AREA
 - ⊙ DENOTES 1" OF EXISTING ASPHALT & OVERLAY WITH 1" TYPE 5-3 ASPHALT
 - ⊙ DENOTES CROSS-SECTION NAME
 - ⊙ DENOTES PROPOSED CROSS-SECTION
 - ⊙ DENOTES SHEET NUMBER

Schnobbe
Shubin &
Associates, Inc.
LAND SURVEYORS
CIVIL ENGINEERS
PAID UP LICENSE NO. 14887
2840 CORPORATE WAY
MIRAMAR, FL 33005
TEL: (305) 665-8200
FAX: (305) 665-8204

REVISIONS

Date	Description	By



NOTED: SEE ALL NOTES TO THIS PLAN.
NO PART OF THIS PLAN SHALL BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
THIS PLAN IS THE PROPERTY OF SCA AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF SCA.

BUILDING 64&65
PAVING, GRADING AND DRAINAGE
PLAN
TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: JMD Date: 06/10/19

Checked By: JMD Date: 06/10/19

Design: JMD Date: 06/10/19

Drawn By: JMD Date: 06/10/19

Checked By: JMD Date: 06/10/19

Design: JMD Date: 06/10/19

Drawn By: JMD Date: 06/10/19

Checked By: JMD Date: 06/10/19

Design: JMD Date: 06/10/19

Drawn By: JMD Date: 06/10/19

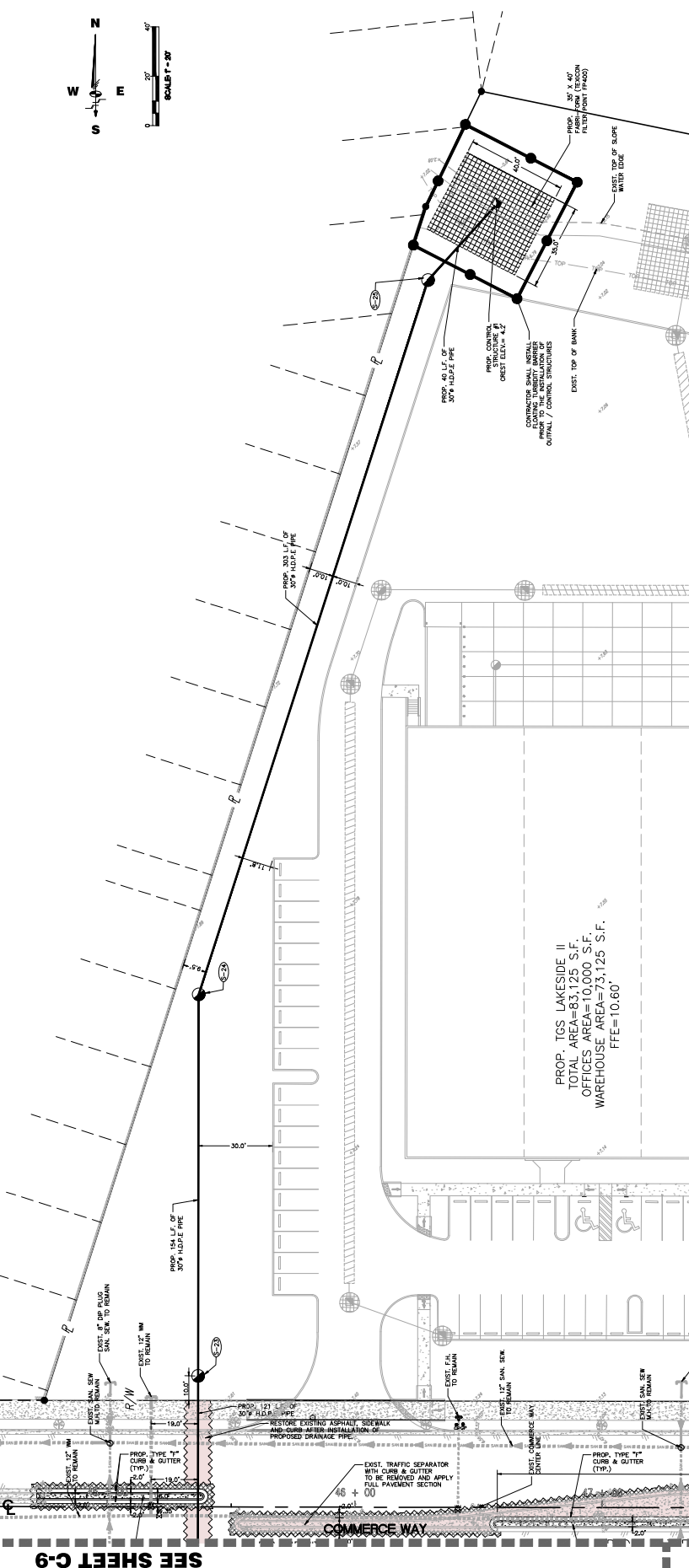
Checked By: JMD Date: 06/10/19

Design: JMD Date: 06/10/19

Drawn By: JMD Date: 06/10/19

Checked By: JMD Date: 06/10/19

Design: JMD Date: 06/10/19



EXISTING FEATURES LEGEND:

- Denotes existing fire hydrant
- Denotes existing elevations
- Denotes water valve
- Denotes wood light pole
- Denotes wood power pole
- Denotes property line
- Denotes right of way line
- Denotes right of way line
- Denotes sanitary sewer cleanout
- Denotes sanitary sewer manhole
- Denotes force main manhole
- Denotes force main valve
- Denotes F&P electric manhole
- Denotes F&P transformer pad
- Denotes catch basin
- Denotes existing tree
- Denotes existing parking
- Denotes irrigation valve
- Denotes storm sewer manhole
- Denotes storm sewer
- Denotes aluminum post

PROPOSED FEATURES LEGEND:

- Denotes proposed elevation
- Denotes proposed French drain w/ inlet
- Denotes proposed manhole w/ manhole
- Denotes proposed slope tips
- Denotes flow direction
- Denotes proposed road line
- Denotes ramp up direction
- Denotes proposed sign
- Denotes proposed wheel stop
- Denotes proposed centerline
- Denotes existing grade
- Denotes proposed drainage manhole
- Denotes proposed manhole
- Denotes proposed concrete
- Denotes proposed concrete
- Denotes proposed parking area
- Denotes existing 1" of existing asphalt & overlay with 1" type S-3 asphalt
- Denotes cross-section name
- Denotes proposed cross-section
- Denotes sheet number

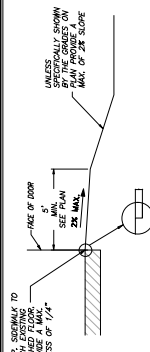
SEE SHEET C-10

SEE SHEET C-9

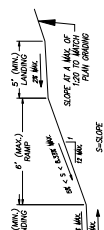
ON-SITE STRUCTURE SCHEDULE

STRUCTURE NUMBER	RIM ELEVATION	N	S	E	W	FLOOR INVERT ELEVATION	GRADE TYPE	STRUCTURE TYPE
1	6.75	(N/A)	2.10	2.10	(N/A)	1.40	US94155-6614	60"
2	6.45	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
3	6.45	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
4	6.45	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
5	6.90	(N/A)	2.10	2.10	(N/A)	1.40	US94155-6614	60"
6	7.40	(N/A)	2.10	2.10	(N/A)	1.40	US94155-6614	60"
7	6.40	(N/A)	2.10	2.10	(N/A)	1.40	US94155-6614	60"
8	6.45	(N/A)	2.10	2.10	(N/A)	1.40	US94155-6614	60"
9	6.45	(N/A)	2.10	2.10	(N/A)	1.40	US94155-6614	60"
10	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
11	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
12	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
13	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
14	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
15	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
16	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
17	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
18	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
19	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
20	7.45	(N/A)	2.10	2.10	(N/A)	1.40	US94155-6614	60"
21	7.45	(N/A)	2.10	2.10	(N/A)	1.40	US94155-6614	60"
22	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
23	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
24	6.10	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"
25	7.40	2.10	2.10	(N/A)	(N/A)	1.40	US94155-6614	60"

DATE: 06/10/19
DWG. NO.: ML-1163
C-11
OF: 1-22

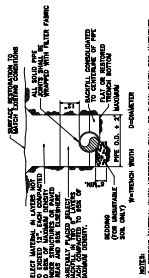


GRADING AT BUILDING EXITS/ENTRANCES



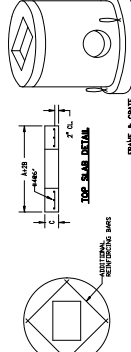
TYPICAL CURB RAMP PROFILE

NOTE: RAMP SLOPE SHALL BE 2% OR LESS. NO EXCEPTIONS.



TRENCH DETAIL

N.T.S.



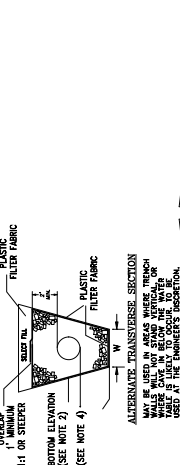
42" - 120" ROUND STRUCTURE

*GRADE 40, OR FOR EQUIVALENT STEEL DESIGNS.

TABLE OF DIMENSIONS									
AS	B	C	D	E	CL	F	G	H	CL
3'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
4'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
5'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
6'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
7'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
8'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
9'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
10'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
11'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
12'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
13'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
14'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
15'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
16'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
17'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
18'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
19'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
20'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
21'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
22'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
23'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
24'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
25'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
26'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
27'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
28'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
29'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
30'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
31'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
32'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
33'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
34'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
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36'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
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39'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
40'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
41'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
42'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
43'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
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45'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
46'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
47'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
48'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
49'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
50'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
51'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
52'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
53'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
54'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
55'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
56'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
57'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
58'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
59'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"
60'-0"	6"	6"	6"	6"	6"	6"	6"	6"	6"

TYPE C CATCH BASIN

*GRADE 40, OR FOR EQUIVALENT STEEL DESIGNS.



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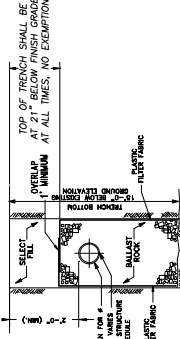
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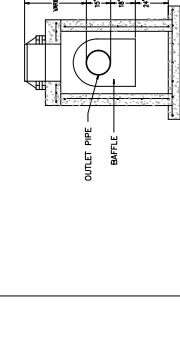
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BUILDING EXIT/ENTRANCE

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OPINION OF TITLE

[Buildings 64-65, Tentative Plat]

To: Town of Miami Lakes

With the understanding that this Opinion of Title is furnished to the Town of Miami Lakes, as an inducement for a subdivision plat covering the real property hereinafter described, it is hereby certified that I have examined the following: (i) Chicago Title Insurance Loan Policy No. 10146202000040 with an effective date of April 7, 1992, and (ii) Attorneys' Title Fund Services, LLC certified attorney title information (collectively, the "Title Evidence"), which Title Evidence covers the period from the beginning to October 17, 2016 at 11:00 PM. ("**Effective Date**"), inclusive, of the following described real property:

See Exhibit "A" attached hereto and made a part hereof.

I am of the opinion that on the last mentioned date, the fee simple title to the above-described real property was vested in:

TGC BPW South LLC, a Florida limited liability company

The Graham Companies, a Florida corporation is the manager of TGC BPW South LLC and has full power and authority to execute agreements on behalf of such limited liability company. Stuart S. Wyllie, as President of The Graham Companies, and Andre Teixeira, as Executive Vice-President and Chief Financial Officer of the Graham Companies each have full authority to sign on behalf of The Graham Companies, as manager of TGC BPW South LLC.

Subject to the following encumbrances, liens and other exceptions (If "none" please indicate):

1. RECORDED MORTGAGES:

NONE.

2. RECORDED CONSTRUCTION LIENS, CONTRACT LIENS AND JUDGMENTS:

NONE

3. GENERAL EXCEPTIONS:

- i) Taxes for the year 2016 and subsequent years and taxes or special assessments which are not shown as existing liens by the public records.
- ii) Rights or claims of parties in possession not shown by the public records.
- iii) Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey and inspection of the premises.
- iv) Easements or claims of easements not shown by the public records.
- v) Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.

- vi) Any outstanding assessments in favor of Miami-Dade County, Florida, any special taxing district and any municipality.
- vii) Zoning and other restrictions imposed by governmental authority.
- viii) Any lien provided for by Florida Statutes in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer, waste or gas system supplying the land or service facilities.

4. **SPECIAL EXCEPTIONS:**

- 1) Reservations and easements contained in Deed from The Trustees of the Internal Improvement Fund of the State of Florida recorded August 6, 1925, in Deed Book 560, Page 285 of the Public Records of Miami-Dade County, Florida.
- 2) Restrictions, reservations and rights-of-way, if any, in the Plat of CHAMBER'S LAND COMPANY SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 2, at Page 68, of the Public Records of Miami-Dade County, Florida.
- 3) Agreement with Miami-Dade Water and Sewer Authority regarding sewage facilities recorded May 12, 1976 in Official Records Book 9322, at Page 813 of the Public Records of Miami-Dade County, Florida.
- 4) Agreement with Miami-Dade Water and Sewer Authority regarding water facilities recorded May 12, 1976 in Official Records Book 9322, at Page 837 of the Public Records of Miami-Dade County, Florida.

I HEREBY CERTIFY that I have reviewed all the aforementioned encumbrances and exceptions and that none of them affect the validity of the Waiver of Plat.

Therefore, it is my opinion that the following party(ies) must execute plat.

<u>Name</u>	<u>Interest</u>	<u>Special Exception Number</u>
The Graham Companies, a Florida corporation	Fee Simple Owner	N/A

I HEREBY CERTIFY that the legal description contained in this Opinion of Title coincides with, and is the same as, the legal description in the proffered plat.

I, the undersigned, further certify that I am an attorney-at-law duly admitted to practice in the State of Florida and a member in good standing of the Florida Bar.

Respectfully submitted this 28th day of October, 2016.



Steven A. Landy, Esq.

Florida Bar No. 346020
Greenberg Traurig, P.A.
333 Avenue of the Americas
Miami, FL 33131

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 28th day of October, 2016, by Steven A. Landy, who is personally known to me or has produced _____, as identification.


Notary Public
Arianna Cabrera
Print Name

My Commission Expires: 10/17/2020

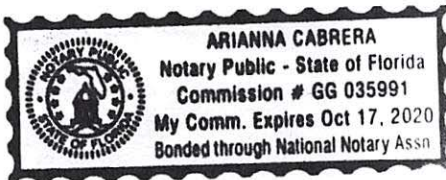


Exhibit "A"

LEGAL DESCRIPTION OF "TGC BUILDING 64 AND 65"

A PORTION OF TRACTS 5, 6 AND 24 IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST AS SHOWN ON THE PLAT OF "CHAMBERS LAND COMPANY SUBDIVISION," AS RECORDED IN PLAT BOOK 2 AT PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF TRACT "F", "MIAMI LAKES BUSINESS PARK SECTION TWO", AS RECORDED IN PLAT BOOK 156 AT PAGE 68, IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTH 02 DEGREES 13 MINUTES 40 SECONDS WEST FOR 295.60 FEET TO A POINT OF CURVATURE; THENCE NORTHERLY AND NORTHWESTERLY ALONG A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 87 DEGREES 40 MINUTES 43 SECONDS FOR AN ARC DISTANCE OF 38.26 FEET TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 645.09 FEET; (SAID LAST THREE COURSES BEING ALONG THE WEST RIGHT-OF-WAY LINE FOR N. W. 82ND AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF COMMERCE WAY AS SHOWN ON THE PLAT OF "MIAMI LAKES BUSINESS PARK 22-2", AS RECORDED IN PLAT BOOK 149 AT PAGE 15, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA); THENCE SOUTH 0 DEGREES 05 MINUTES 37 SECONDS WEST FOR 36.00 FEET; THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 55.00 FEET; (SAID LAST TWO COURSES BEING ALONG THE EASTERLY AND SOUTHERLY LINES OF TRACT "D" OF THE SAID PLAT OF "MIAMI LAKES BUSINESS PARK 22-2"); THENCE SOUTH 0 DEGREES 05 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF THE PLAT OF "LAKE HOUSE APARTMENTS", AS RECORDED IN PLAT BOOK 168 AT PAGE 27 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR 283.34 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 23 SECONDS EAST ALONG THE NORTH LINE OF THE AFORESAID TRACT "F", "MIAMI LAKES BUSINESS PARK SECTION TWO" FOR 737.04 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN THE TOWN OF MIAMI LAKES, MIAMI-DADE COUNTY, FLORIDA.

MIAMI-DADE COUNTY, FLORIDA, TAX FOLIO NO.'S 32-2022-001-0530 AND 32-2022-001-0650



Planning, Zoning, and Code Compliance Department

PLANNING AND ZONING PUBLIC HEARING APPLICATION

(WAIVER OF PLAT)

TGC BUILDING
64-65

PL 2014-0008 File #

_____ Date Received

_____ Date of Pre-application Meeting

NOTE TO APPLICANTS: A pre-application meeting with the Town's Planning and Zoning Department staff is required prior to official application filing. Please call 305 364-6100 for an appointment.

32-2022-001-0530

1. Name of Applicant TGC BPW South LLC
- If applicant is owner, give name exactly as recorded on deed.
 - If applicant is lessee, attach copy of valid lease of 1 year or more and Owner's Sworn-to-Consent form.
 - If applicant is corporation, partnership, limited partnership, or trustee, a separate Disclosure of Interest form must be completed.

Mailing Address 6843 Main Street

City Miami Lakes State FL ZIP 33014

Tel. # (during working hours) 305-817-4044 Other _____

E-Mail: stu.wyllie@grahamcos.com Mobile #: _____

2. Name of Property Owner TGC BPW South LLC

Mailing Address 6843 Main Street

City Miami Lakes State FL ZIP 33014

Tel. # (during working hours) 305-817-4044 Other _____

3. Contact Person Stu Wyllie

Mailing Address 6843 Main Street

City Miami Lakes State FL ZIP 33014

Tel. # (during working hours) 305-817-4044 Other _____

E-Mail: stu.wyllie@grahamcos.com Mobile #: _____

4. LEGAL DESCRIPTION OF THE PROPERTY COVERED BY THE APPLICATION

- If subdivided, provide lot, block, complete name of subdivision, plat book and page number.
- If metes and bounds description, provide complete description (including section, township, and range).
- Attach a separate typed sheet, if necessary. Please verify the accuracy of your legal description

See attached

6601 Main Street • Miami Lakes, Florida, 33014

Office: (305) 364-6100 • Fax: (305) 558-8511

Website: www.miamilakes-fl.gov

MIAMI LAKES

Growing Beautifully

5. Address or location of property (including section, township, and range): NW Corner of the
Intersection of NW 148th ST. & Oak Lane, Town of Miami Lakes, Section 22
Township 52 South, Range 40 East
6. Size of property: 231,198 SF × _____ Acres 5.30
7. Date subject property ☒ acquired or ☐ leased _____ day of _____
Term of lease; _____ years/months.
8. Does property owner own contiguous property to the subject property? If so, give complete legal description of entire contiguous property. (If lengthy, please type on a sheet labeled "Contiguous Property.")

9. Is there an option to ☐ purchase or ☐ lease the subject property or property contiguous thereto? ☐ Yes ☐ No
If yes, who are the potential purchasers or lessees? (Complete section of Disclosure of Interest form, also.)

10. Present zoning classification(s): IU-C Present land use classification(s): Industrial and Office
11. REQUEST(S) COVERED UNDER THIS APPLICATION:
Please check the appropriate box and give a brief description of the nature of the request in the space provided.
Be advised that all zone changes require concurrent site plan approval.
- ☐ District Boundary (Zone) Change(s):
Zoning Requested: _____
- ☐ Future Land Use Map (FLUM) Amendment:
Future Land Use Requested: _____
- ☐ Site Plan Approval _____
- ☐ Variance _____
- ☒ Preliminary Plat Approval: TGC Buildings 64 and 65
- ☐ Final Plat Approval: _____
- ☐ Modification of Previous Resolution/Plan/Ordinance _____
- ☐ Modification of Declaration or Covenant _____
12. Has a public hearing been held on this property within the last year and a half? ☐ Yes ☒ No
If yes, applicant's name _____ Date of Hearing _____
Nature of Hearing _____
Decision of Hearing _____ Resolution # _____
13. Is this hearing being requested as a result of a violation notice? ☐ Yes ☒ No
If yes, give name to whom violation notice was served _____
Nature of violation _____

6601 Main Street • Miami Lakes, Florida, 33014

Office: (305) 364-6100 • Fax: (305) 558-8511

Website: www.miamilakes-fl.gov



14. Are there any existing structures on the property? ☐ Yes ☒ No

If yes, briefly describe _____

15. Is there any existing use on the property? ☐ Yes ☒ No

If yes, what is the use and when was it established? _____

6601 Main Street • Miami Lakes, Florida, 33014

Office: (305) 364-6100 • Fax: (305) 558-8511

Website: www.miamilakes-fl.gov

LEGAL DESCRIPTION FOR BUILDING 64

A PORTION OF TRACTS 5, 6 AND 24 IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST AS SHOWN ON THE PLAT OF "CHAMBERS LAND COMPANY SUBDIVISION AS RECORDED IN PLAT BOOK 2 AT PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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OWNERSHIP AFFIDAVIT
FOR
CORPORATION

STATE OF FLORIDA

Public Hearing No. _____

COUNTY OF MIAMI-DADE

Before me, the undersigned authority, personally appeared, hereinafter the Affiants, who being first duly sworn by me, on oath, depose and say:

1. Affiants are the fee owners of the property which is the subject of the proposed hearing.

2. The subject property is legally described as: See attached

3. Affiants understand this affidavit is subject to the penalties of law for perjury and the possibility of voiding of any zoning granted at public hearing.

Witnesses:

Signature

Print Name

Signature

Print Name

Stu Wyllie, President & CEO

The Graham Companies, a Florida Corporation, Manager for
TGC BPW South LLC, a Florida limited liability company

Sworn to and subscribed before me on the 14th day of October, 2016. Affiant is personally known to me
or has produced _____ as identification.



NANCY E. ROARK
MY COMMISSION # FF 229649
EXPIRES: September 11, 2019
Bonded Thru Budget Notary Services

Nancy E. Roark
Notary
(Stamp/Seal)

My Commission Expires: 9/11/19

Witnesses:

Signature

Print Name

Signature

Print Name

Sworn to and subscribed before me on the _____ day of _____, 20____. Affiant is personally known to me
or has produced _____ as identification.

Notary
(Stamp/Seal)

My Commission Expires: _____

6601 Main Street • Miami Lakes, Florida, 33014

Office: (305) 364-6100 • Fax: (305) 558-8511

Website: www.miamilakes-fl.gov

DISCLOSURE OF INTEREST*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest.]

CORPORATION NAME: The Graham Companies, a Florida Corporation, Manager for TGC BPW South LLC, a Florida limited liability company

NAME AND ADDRESS:	Percentage of Stock
<u>See attached</u>	

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest.]

TRUST / ESTATE NAME: _____

NAME AND ADDRESS:	Percentage of Interest

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s), or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests.]

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS:	Percent of Ownership

THE GRAHAM COMPANIES STOCKHOLDERS
RECORD DATE March 31, 2016

	A		B		TOTAL	
	SHARES	%	SHARES	%	SHARES	%
WILLIAM A. GRAHAM FAMILY						
CGW & EGM, Co-Tees of the PCG Rev Trust u/d/d dtd 3/25/94	-	-	85,754.3825	9.42	85,754.3825	8.1817
CGW & EGM, Co-Tees, fbo Marital Trust, dtd 3/25/94	26,026.1000	18.92	34,922.2000	3.84	60,948.3000	5.8150
CDY, tee, SG Younts Family Trust, fbo CD Younts, dtd 3/3/2010	-	-	2,047.8000	0.22	2,047.8000	0.1954
CAROL G. WYLLIE	24.7600	0.02	446.8762	0.05	471.6362	0.0450
CAROL G. WYLLIE 2012 Family Trust Agreement	9,000.0000	6.54	38,810.8200	4.26	47,810.8200	4.5616
GRAHAM-WYLLIE Family Trust Agreement	-	-	9,467.9092	1.04	9,467.9092	0.9033
CYNTHIA G. GORDON	6,815.0000	4.95	24,990.4389	2.74	31,805.4389	3.0345
CGW tee, Gordon Family Irrev Trust fbo KP GORDON, dtd 12/19/12	-	-	4,733.9496	0.52	4,733.9496	0.4517
CGW, tee Gordon Family Irrev Trust fbo LW GORDON, dtd 12/19/12	-	-	4,733.9496	0.52	4,733.9496	0.4517
ELIZABETH G MARTINEZ	-	-	338.1316	0.04	338.1316	0.0323
ELIZABETH G. MARTINEZ 2012 Family Trust Agreement	6,485.9700	4.71	44,876.9200	4.93	51,362.8900	4.9005
GRAHAM-MARTINEZ Family Trust Agreement	-	-	12,787.2284	1.40	12,787.2284	1.2200
LUIS O. MARTINEZ	-	-	149.5042	0.02	149.5042	0.0143
LUIS O. MARTINEZ Family Trust	4,341.0000	3.15	8,567.8079	0.94	12,908.8079	1.2316
MICHAEL A. MARTINEZ	-	-	1,643.3800	0.18	1,643.3800	0.1568
DANIEL L. MARTINEZ	-	-	5,199.1400	0.57	5,199.1400	0.4960
KATHRYN N. MARTINEZ	-	-	1,643.3800	0.18	1,643.3800	0.1568
ALISON J. MARTINEZ	-	-	4,971.4200	0.55	4,971.4200	0.4743
STUART S. WYLLIE	-	-	207.5692	0.02	207.5692	0.0198
STUART WYLLIE 2012 Family Trust Agreement	5,295.7600	3.85	11,778.0000	1.29	17,073.7600	1.6290
BENJAMIN C. GORDON	4,341.0000	3.15	4,870.3121	0.53	9,211.3121	0.8788
KATHLEEN P. GORDON	-	-	1,643.3800	0.18	1,643.3800	0.1568
LEE W. GORDON	-	-	1,643.3800	0.18	1,643.3800	0.1568
TRACY F. GRAHAM	-	-	1,773.0000	0.19	1,773.0000	0.1692
ANDREA L. GRAHAM	1,630.4300	1.18	13,735.6079	1.51	15,366.0379	1.4660
AG RECHICHI, tee of Trust fbo AG RECHICHI ctd u/A VIII of WEG Tst '99	3,407.5000	2.48	14,519.0132	1.59	17,926.5132	1.7103
AL Graham, tee of Trust fbo AL Graham Trust ctd u/A III of WEG Tst '01	-	-	1,362.0000	0.15	1,362.0000	0.1299
RECHICHI CHILDREN'S TRUST, fbo William M. Rechichi	-	-	393.3370	0.04	393.3370	0.0375
KRISTOPHER E. GRAHAM	-	-	11,465.2279	1.26	11,465.2279	1.0939
KE GRAHAM, tee of Trust fbo KE GRAHAM ctd u/A VIII of WEG Tst '99	3,407.5000	2.48	14,657.5828	1.61	18,065.0828	1.7236
EGM, Tee, L. E. WYLLIE TR u/a/d 8/4/93	815.2200	0.59	10,610.1301	1.17	11,425.3501	1.0901
LAURA E. WYLLIE	-	-	4,986.7600	0.55	4,986.7600	0.4758
EGM, Tee, P. S. WYLLIE TR u/a/d 8/4/93	815.2200	0.59	10,790.9201	1.19	11,606.1401	1.1073
PHILIP S. WYLLIE	-	-	4,805.9700	0.53	4,805.9700	0.4585
CGW, Tee, D. L. MARTINEZ TR u/a/d 12/30/93	1,873.1600	1.36	6,363.7912	0.70	8,236.9512	0.7859
CGW, Tee, A. J. MARTINEZ TR u/a/d 12/30/93	1,873.1600	1.36	6,591.5111	0.72	8,464.6711	0.8076
CGW, Tee, M. A. MARTINEZ TR u/a/d 12/30/93	688.8350	0.50	12,297.7675	1.35	12,986.6025	1.2390
CGW, Tee, K. N. MARTINEZ TR u/a/d 12/30/93	688.8350	0.50	12,297.7675	1.35	12,986.6025	1.2390
CGG, As Custodian for K. GORDON u/Co Unif Trfs	1,902.1700	1.38	5,481.7675	0.60	7,383.9375	0.7045
CGG, Tee, L. W. GORDON TR u/a/d 10/16/92	543.4800	0.39	9,327.7675	1.02	9,871.2475	0.9418
JOAN G. GRAHAM	220.0000	0.16	1,565.0000	0.17	1,785.0000	0.1703
	80,195.1000	58.28	449,252.8007	49.34	529,447.9007	50.5138
D. ROBERT GRAHAM FAMILY						
D. ROBERT GRAHAM REVOC LIV TR 9/1/2000	28,718.5000	20.87	13,283.6491	1.46	42,002.1491	4.0074
ADELE K. GRAHAM REVOC LIV TR 9/1/2000	-	-	9,400.0000	1.03	9,400.0000	0.8968
GWENDOLYN GRAHAM	950.0000	0.69	46,194.0347	5.07	47,144.0347	4.4979
GWENDOLYN GRAHAM, Tee, MARK E. LOGAN TR	-	-	996.7958	0.11	996.7958	0.0951
GWENDOLYN GRAHAM, Tee, SARAH G. LOGAN TR	-	-	996.7962	0.11	996.7962	0.0951
GWENDOLYN GRAHAM, Tee, TIMOTHY G. LOGAN TR	-	-	996.7958	0.11	996.7958	0.0951
GLYNN G. McCULLOUGH	799.0000	0.58	35,358.1980	3.88	36,157.1980	3.4497
WILLIAM B. McCULLOUGH	-	-	2,520.4594	0.28	2,520.4594	0.2405
McCULLOUGH Family Trust fbo MELISSA G. McCULLOUGH	-	-	836.2852	0.09	836.2852	0.0798
McCULLOUGH Family Trust fbo WILLIAM G. McCULLOUGH	-	-	836.2852	0.09	836.2852	0.0798
McCULLOUGH Family Trust fbo CAROLINE A. McCULLOUGH	-	-	836.2849	0.09	836.2849	0.0798
ARVA G. GIBSON	950.0000	0.69	38,846.6000	4.27	39,796.6000	3.7969
THOMAS C. GIBSON	-	-	832.0000	0.09	832.0000	0.0794
THOMAS C. GIBSON, Tee, Gift Trust KENDALL C. GIBSON	-	-	1,813.9943	0.20	1,813.9943	0.1731
THOMAS C. GIBSON, Tee, Gift Trust ANSLEY S. GIBSON	-	-	1,813.9941	0.20	1,813.9941	0.1731
THOMAS C. GIBSON, Tee, Gift Trust ADELE E. GIBSON	-	-	1,813.9943	0.20	1,813.9943	0.1731
KENDALL G. ELIAS	950.0000	0.69	46,842.6010	5.14	47,792.6010	4.5598
L. ROBERT ELIAS III	-	-	6,013.7604	0.66	6,013.7604	0.5738
L. ROBERT ELIAS III, tee, Peyton Elias Trust und Elias Children's Trust	-	-	1,169.7356	0.13	1,169.7356	0.1116
L. ROBERT ELIAS III, tee, Lewis R Elias Trust und Elias Children's Trust	-	-	1,169.7356	0.13	1,169.7356	0.1116
	32,367.5000	23.52	212,571.9996	23.35	244,939.4996	23.3693
PHILIP L. GRAHAM FAMILY						
DONALD E. GRAHAM	7,222.3000	5.25	75,458.3000	8.29	82,680.6000	7.8884
WILLIAM W. GRAHAM, Tee, WWG 1969 Revoc Trust	8,472.2000	6.16	86,708.3000	9.52	95,180.5000	9.0810
STEPHEN M. GRAHAM	2,222.2000	1.62	30,458.4000	3.35	32,680.6000	3.1180
	17,916.7000	13.02	192,625.0000	21.16	210,541.7000	20.0874
MARY GRAHAM CROW FAMILY						
PHILIP G. CROW	-	-	3,251.7000	0.36	3,251.7000	0.3102
MARY YORK BEHNCKE	-	-	2,790.0000	0.31	2,790.0000	0.2662
	-	-	6,041.7000	0.66	6,041.7000	0.5764
FREDERICK S. BEEBE FAMILY						
WALTER H. BEEBE	751.0000	0.55	13,999.0000	1.54	14,750.0000	1.4073
MICHAEL BEEBE	596.0000	0.43	6,170.0000	0.68	6,766.0000	0.6455
	1,347.0000	0.98	20,169.0000	2.22	21,516.0000	2.0528
GERALD E. TOMS FAMILY						
THOMAS N. TOMS II	1,456.0000	1.06	9,949.8000	1.09	11,405.8000	1.0882
LOUIS B. TOMS	1,419.7000	1.03	9,733.3000	1.07	11,153.0000	1.0641
REVOCABLE TRUST AGREEMENT OF ELIZABETH BRINEGAR	1,413.0000	1.03	4,878.3000	0.54	6,291.3000	0.6002
MARGARET TOMS REVOCABLE TRUST	1,479.0000	1.07	5,309.7000	0.58	6,788.7000	0.6477
	5,767.7000	4.19	29,871.1000	3.28	35,638.8000	3.4002
TOTAL SHARES OUTSTANDING	137,594.0000	100.00	910,531.6003	100.00	1,048,125.6003	100.0000
TREASURY STOCK	91,877.1000		1,154,697.3000		1,246,574.4000	
TOTAL SHARES AUTHORIZED	229,471.1000		2,065,228.9003		2,294,700.0003	

Letter of Intent

Property:	Building 64 & 65
Zoning:	Current IU-C (Industrial District – Conditional)
Platting:	Plat required to eliminate tract lines no longer needed
Number of Parcels:	1
Net Area (Plat Limits):	6.261 +/- gross acres / 272,746 gross square feet 5.308 +/- net acres / 231,198 net square feet
Current Use:	Improved Pasture, Vacant Land
Proposed Use:	Tract “A” Industrial Warehouse – Building “A” (64) 33,700 square feet of Industrial Warehouse Space 5,000 square feet of office space Industrial Warehouse – Building “B” (65) 31,720 square feet of Industrial Warehouse Space 5,000 square feet of office space
Narrative:	<p>The property is a rectangle shaped parcel located near the intersection of Commerce Way and NW 82nd Avenue. The subject parcel is adjacent to land that is zoned (IU-C) and developed with similar uses, as proposed, to the northeast, southeast and south, noting that while there is a small strip within the northeasterly ad joiner with a BU district, it’s larger platted tract, which is “the developed site”, is zoned IU-C. The westerly ad joiner is a fenced multiple family residential community (RM-13 which is owned by the applicant).</p> <p>The proposed project contemplates flex space warehouse and will be developed in a way that is consistent with the above mentioned adjacent parcels, which are also owned by the applicant. The subject parcel requires replatting to adhere to Chapter 28 of the County Code (as well as the Town Code), which requires conformance with Chapter 28. The property is not an original subdivision (plat) of land, but rather a replat of a portion of an underlying plat and is only required because these tracts have been repartitioned from the original lines. The Plat does not seek to create additional parcels, but rather establish the existing combined remnants of three underlying tracts as a conforming site. We respectfully request your favorable consideration of this application.</p>

500 Foot Mailing List

Folio	Property Owner Name	Property Address	Property City	Property Zip Code	Mailing Address	Mailing City and State	Mailing Zip Code
32-2015-045-0260	14100310 LLC	14100 PALMETTO FRONTAGE RD 310	MIAMI LAKES	33016-1569	14100 PALMETTO FRONTAGE RD #310	MIAMI LAKES FL	33016-1557
32-2015-045-0180	200 PALMETTO FRONTAGE RD LLC	14100 PALMETTO FRONTAGE RD 200	MIAMI LAKES	33016-1569	1401 BRICKELL AVENUE 7 FLR	MIAMI FL	33131
32-2022-041-1580	2015 2 IH BORROWER L P	8342 NW 143 TER	MIAMI LAKES	33016-5737	1717 MAIN STREET SUITE 2000	DALLAS TX	75201
32-2022-063-0060	4 G INVESTMENT INC	14160 PALMETTO FRONTAGE RD 33	MIAMI LAKES	33016-1506	8312 WEST 14 AVE	HIALEAH FL	33014
32-2015-045-0020	AFFME INVESTMENTS LLC	14100 PALMETTO FRONTAGE RD 101	MIAMI LAKES	33016-1569	1445 MARTINIQUE CT STE 6005	WESTON FL	33016
32-2022-041-1900	AGATHA PARRADO HERAN	8317 NW 143 TER	MIAMI LAKES	33016-5739	8317 NW 143 TERR	MIAMI LAKES FL	33016-5739
32-2015-045-0230	AGM DEVELOPMENT II LLC	14100 PALMETTO FRONTAGE RD 210	MIAMI LAKES	33016-1569	PO BOX 490915	KEY BISCAYNE FL	33149
32-2022-041-1360	ALDO A ALVAREZ	8341 NW 143 TER	MIAMI LAKES	33016-5736	8341 NW 143 TERR	HIALEAH FL	33016-5736
32-2022-063-0012	AMERICANO XII REALTY CORP	14160 PALMETTO FRONTAGE RD 12	MIAMI LAKES	33016-1506	14160 PALMETTO FRONTAGE RD #32	MIAMI LAKES FL	33016
32-2022-041-1870	BARBARA LOPEZ	8335 NW 143 TER	MIAMI LAKES	33016-5739	8335 NW 143 TERR	MIAMI LAKES FL	33016-5739
32-2022-041-0210	BLANCA R DIAZ	14451 NW 83 AVE	MIAMI LAKES	33016-5714	14451 NW 83 AVE	MIAMI LAKES FL	33016
32-2022-041-2080	CHAIRMAINE SANTOS	8307 NW 144 ST	MIAMI LAKES	33016-5740	8307 NW 144 ST	MIAMI LAKES FL	33016-5740
32-2022-041-1420	CHERYL SISAK	14323 NW 83 PATH	MIAMI LAKES	33016-5725	14323 NW 83 PATH	MIAMI FL	33016-5725
32-2022-041-2010	CHRISTINA V RAMOS	14435 NW 83 PL	MIAMI LAKES	33016-5754	14435 NW 83 PL	MIAMI LAKES FL	33016

32-2022-041-1960	CINDY M CASERO	8314 NW 144 ST	MIAMI LAKES	33016-5741	8314 NW 144 ST	MIAMI LAKES FL	33016-5741
32-2022-006-0010	CORNERSTONE LAKES HOLDINGS LLC	14211 COMMERCE WAY	MIAMI LAKES	33016-1556	1065 NE 125 ST # 221	NORTH MIAMI FL	33161
32-2022-041-0270	E SCOTT HEBDITCH	14391 NW 83 AVE	MIAMI LAKES	33016-5752	14391 NW 83 AVE	MIAMI LAKES FL	33016-5752
32-2022-041-0190	EDUARDO DOMINGUEZ &W VIVIAN	8309 NW 144 TER	MIAMI LAKES	33016-5747	PO BOX 266230	WESTON FL	33326
32-2015-045-0150	ELIO S QUARANTA	14100 PALMETTO FRONTAGE RD 114	MIAMI LAKES	33016-1569	301 SW 135 AVE UNIT C118	PEMBROKE PINES FL	33027
32-2022-041-0170	ELIOT LOPEZ	8321 NW 144 TER	MIAMI LAKES	33016-5747	8321 NW 144 TER	MIAMI LAKES FL	33016
32-2022-041-0300	ERIKA SOLOTOFF	14361 NW 83 AVE	MIAMI LAKES	33016-5751	14361 NW 83 AVE	HIALEAH FL	33016
32-2015-045-0090	FIRST START REALTY INVESTMENT INC	14100 PALMETTO FRONTAGE RD 108	MIAMI LAKES	33016-1569	16215 SW 275 ST	HOMESTEAD FL	33031
32-2022-041-2030	FREDDY MACIAS LOSANO	14419 NW 83 PL	MIAMI LAKES	33016-5722	14419 NW 83 PLACE	MIAMI LAKES FL	33016
32-2022-041-1800	FREED L CASTILLO &W	14332 NW 83 AVE	MIAMI LAKES	33016-5716	14332 NW 83 AVE	HIALEAH FL	33016-5716
32-2015-045-0040	G EXECUTIVE REALTY INC	14100 PALMETTO FRONTAGE RD 103	MIAMI LAKES	33016-1569	14100 PALMETTO FRONTAGE RD #103	MIAMI LAKES FL	33016
32-2015-045-0130	GANGSU KIM	14100 PALMETTO FRONTAGE RD 112	MIAMI LAKES	33016-1569	675 NW 159 AVE	PEMBROKE PINES FL	33028
32-2022-041-1590	HECTOR C RODRIGUEZ ROMERO	8348 NW 143 TER	MIAMI LAKES	33016-5737	3300 NE 191 ST #1402	AVENTURA FL	33180
32-2015-045-0050	HERMAN INVESTMENTS LLC	14100 PALMETTO FRONTAGE RD 104	MIAMI LAKES	33016-1569	1445 MARTINIQUE CT 6005	FORT LAUDERDALE FL	33326
32-2022-041-1840	HONG ZHAO	8324 NW 143 TER	MIAMI LAKES	33016-5738	8324 NW 143 TERR	MIAMI LAKES FL	33016-5738
32-2022-041-0310	HOON RO YUN &W MI AH YUN	14351 NW 83 AVE	MIAMI LAKES	33016-5751	14351 NW 83 AVE	HIALEAH FL	33016-5751

32-2022-041-1430	IGNACIO RESILLEZ &W MARIE E	14313 NW 83 PATH	MIAMI LAKES	33016-5725	14313 NW 83 PATH	MIAMI LAKES FL	33016-5725
32-2022-041-1930	ILEANA M RODRIGUEZ &H	14352 NW 83 AVE	MIAMI LAKES	33016-5716	14352 NW 83 AVE	HIALEAH FL	33016-5716
32-2022-048-0010	IMAGENET CONSULTING OF MIAMI LLC	14080 NW 82 AVE 1-A	MIAMI LAKES	33016-1547	14080 NW 82 AVE #1A	MIAMI FL	33016
32-2022-041-1890	JACQUELINE G HEATH	8323 NW 143 TER	MIAMI LAKES	33016-5739	8323 NW 143 TERR	MIAMI LAKES FL	33016-5739
32-2022-041-2070	JACQUELINE KRAVITZ	8313 NW 144 ST	MIAMI LAKES	33016-5740	8313 NW 144 ST	MIAMI LAKES FL	33016
32-2022-041-1910	JAVIER IZQUIERDO	8311 NW 143 TER	MIAMI LAKES	33016-5739	8311 NW 143 TER	MIAMI LAKES FL	33016
32-2022-041-1980	JEFFREY A CAPLIN &W RHODORA B	8326 NW 144 ST	MIAMI LAKES	33016-5741	8326 NW 144 ST	MIAMI LAKES FL	33016-5741
32-2022-041-1940	JESSIE ALVAREZ	14362 NW 83 AVE	MIAMI LAKES	33016-5716	14362 NW 83 AVENUE	MIAMI LAKES FL	33016
32-2022-041-2020	JOAO NAGAMINE JTRS	14427 NW 83 PL	MIAMI LAKES	33016-5754	14427 NW 83 PLACE	HIALEAH FL	33016
32-2022-041-1570	JOHN A KENDALL	14322 NW 83 PL	MIAMI LAKES	33016-5720	14322 NW 83 PL	HIALEAH FL	33016
32-2022-041-1850	JOSE MANUEL GONZALEZ &	8330 NW 143 TER	MIAMI LAKES	33016-5738	8330 NW 143 TERR	HIALEAH FL	33016-5738
32-2022-041-0260	JOSE MOGNA &W MAUREEN	14401 NW 83 AVE	MIAMI LAKES	33016-5714	14401 NW 83 AVE	MIAMI LAKES FL	33016-5714
32-2022-041-0220	JUAN GARRIDO &W	14441 NW 83 AVE	MIAMI LAKES	33016-5714	14441 NW 83 AVE	MIAMI LAKES FL	33016-5714
32-2015-045-0070	KADOCA LLC	14100 PALMETTO FRONTAGE RD 106	MIAMI LAKES	33016-1569	6011 SW 41 ST	MIRAMAR FL	33023
32-2022-041-2110	KATHERINE STEVENSON	8320 NW 144 TER	MIAMI LAKES	33016-5746	8320 NW 144 TERR	MIAMI LAKES FL	33016-5746
32-2022-041-0240	KEITH REVELL	14421 NW 83 AVE	MIAMI LAKES	33016-5714	14421 NW 83 AVE	MIAMI LAKES FL	33016
32-2022-041-1600	KELLY GUERRA	8354 NW 143 TER	MIAMI LAKES	33016-5737	8354 NW 143 TERR	MIAMI FL	33016-5737
32-2022-041-1950	KELLY MARTINEZ	14372 NW 83 AVE	MIAMI LAKES	33016-5753	14372 NW 83 AVE	HIALEAH FL	33016-5753
32-2022-041-1970	KENIA M MORERA &	8320 NW 144 ST	MIAMI LAKES	33016-5741	8320 NW 144 ST	MIAMI LAKES FL	33016-5741
32-2022-041-2000	LIDUVINA WEEDEN	8338 NW 144 ST	MIAMI LAKES	33016-5741	8338 NW 144 ST	MIAMI LAKES FL	33016-5741
32-2022-041-2120	LILIANA ZARATE SUAREZ	8326 NW 144 TER	MIAMI LAKES	33016-5746	8326 NW 144 TER	MIAMI LAKES FL	33016

32-2022-041-1920	LOTTIE T MCMILLAN	14342 NW 83 AVE	MIAMI LAKES	33016-5716	14342 NW 83 AVE	MIAMI LAKES FL	33016-5716
32-2022-041-2060	LUIS R PERALTA-PEREZ	8319 NW 144 ST	MIAMI LAKES	33016-5740	8319 NW 144 ST	MIAMI LAKES FL	33016-5740
32-2015-045-0010	LUMAEL LLC	14100 PALMETTO FRONTAGE RD 100	MIAMI LAKES	33016-1569	1445 MARTINIQUE CT STE 6005	WESTON FL	33016
32-2022-041-2040	MARIA CRISTINA MARQUEZ	14411 NW 83 PL	MIAMI LAKES	33016-5722	14419 NW 83 PL	MIAMI LAKES FL	33016
32-2022-041-0330	MARITZA GAMBOA LE	14331 NW 83 AVE	MIAMI LAKES	33016-5751	14331 NW 83 AVE	HIALEAH FL	33016
32-2015-045-0240	MCM HOLDINGS INC	14100 PALMETTO FRONTAGE RD 300	MIAMI LAKES	33016-1569	14100 PALMETTO FRONTAGE RD #300	MIAMI FL	33016
32-2022-040-0030	MIAMI DADE COUNTY	8300 COMMERCE WAY	MIAMI LAKES	33016-0000	PO BOX 330316	MIAMI FL	33233
32-2022-041-1880	MIRELLA MENDEZ	8329 NW 143 TER	MIAMI LAKES	33016-5739	8329 NW 143 TERR	MIAMI LAKES FL	33016-5739
32-2022-041-2050	NANCY E CARDONA	8325 NW 144 ST	MIAMI LAKES	33016-5740	8325 NW 144 ST	MIAMI LAKES FL	33016
32-2022-041-0280	NELLY IBANEZ &H CARLOS IBANEZ	14381 NW 83 AVE	MIAMI LAKES	33016-5752	14381 NW 83 AVE	MIAMI LAKES FL	33016-5752
32-2022-041-0200	NICHOLAS D NITTI	8303 NW 144 TER	MIAMI LAKES	33016-5747	7945 NW 164 TER	MIAMI LAKES FL	33016
32-2022-006-0190	OAKS PLAZA LTD	14125 NW 80 AVE	MIAMI LAKES	33016-2350	6500 COWPEN RD STE 202	MIAMI LAKES FL	33016
32-2015-045-0120	PALMETTO OFFICES LLC	14100 PALMETTO FRONTAGE RD 111	MIAMI LAKES	33016-1569	10305 NW 41 ST #219	DORAL FL	33178
32-2022-041-0290	PAMELA A BROWN	14371 NW 83 AVE	MIAMI LAKES	33016-5752	14371 NW 83 AVE	MIAMI LAKES FL	33016-5752
32-2022-041-0230	PATRICK J FLAHERTY &W ASTRID	14431 NW 83 AVE	MIAMI LAKES	33016-5714	14431 NW 83 AVE	MIAMI LAKES FL	33016-5714
32-2022-041-2090	PEDRO P FIALLO &W ZENAIDA	8301 NW 144 ST	MIAMI LAKES	33016-5740	8709 NW 148 TERR	HIALEAH FL	33018
32-2022-063-0020	RAUL RODRIGUEZ TRS	14160 PALMETTO FRONTAGE RD 21	MIAMI LAKES	33016-1506	15476 NW 77 CT # 705	MIAMI LAKES FL	33016
32-2022-041-1810	SANDRA CABALLERO	8306 NW 143 TER	MIAMI LAKES	33016-5738	8306 NW 143 TER	MIAMI LAKES FL	33016

32-2022-006-0020	SSC RLTY LLC	14261 COMMERCE WAY	MIAMI LAKES	33016-1556	14261 COMMERCE WAY	MIAMI LAKES FL	33016-1556
32-2015-045-0030	STEPHEN S SIEGEL &W SHERRI	14100 PALMETTO FRONTAGE RD 102	MIAMI LAKES	33016-1569	14100 PALMETTO FRONTAGE RD #102	MIAMI LAKES FL	33016-1568
32-2022-001-0520	THE GRAHAM COMPANIES	Not Available	MIAMI LAKES	33016-0000	6843 MAIN ST	MIAMI LAKES FL	33014-2048
32-2022-041-1860	VICTOR VALCARCE	8336 NW 143 TER	MIAMI LAKES	33016-5738	8336 NW 143 TERR	MIAMI LAKES FL	33016-5738
32-2022-041-2100	WALTER FERNANDEZ &	8316 NW 144 TER	MIAMI LAKES	33016-5746	8316 NW 144 TERR	MIAMI LAKES FL	33016-5746
32-2022-041-0250	ZHIHUA DENG	14411 NW 83 AVE	MIAMI LAKES	33016-5714	14411 NW 83 AVE	MIAMI LAKES FL	33016

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