Office - Warehouse Facilities for:

THE GRAHAM COMPANIES

BLDG 64 & 65

NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.

Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES, FLORIDA
PHONE : (305) 821-1130

LEGAL DESCRIPTION:

SECTION 22 - TOWNSHIP 52 SOUTH - RANGE 40 EAST

A PORTION OF TRACTS 5, 6 AND 24 IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST AS SHOWN ON THE PLAT OF "CHAMBERS LAND COMPANY SUBDIVISION," AS RECORDED IN PLAT BOOK 2 AT PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF TRACT "F", "MIAMI LAKES BUSINESS PARK SECTION TWO", AS RECORDED IN PLAT BOOK 156 AT PAGE 68, IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA± THENCE NORTH 00 DEGREES 13 MINUTES 40 SECONDS WEST FOR 295.60 FEET TO A POINT OF CURVATURE± THENCE NORTHERLY AND NORTHWESTERLY ALONG A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 87 DEGREES 40 MINUTES 43 SECONDS FOR AN ARC DISTANCE OF 38.16 FEET TO A POINT OF TANGENCY± THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 645.09 FEET± (SAID LAST THREE COURSES BEING ALONG THE WEST RIGHT-OF-WAY LINE FOR N. W. 82ND AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF COMMERCE WAY AS SHOWN ON THE PLAT OF "MIAMI LAKES BUSINESS PARK 22-2", AS RECORDED IN PLAT BOOK 149 AT PAGE 15, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA)± THENCE SOUTH 0 DEGREES 05 MINUTES 37 SECONDS WEST FOR 36.00 FEET± THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 59.00 FEET± (SAID LAST TWO COURSES BEING ALONG THE EASTERLY AND SOUTHERLY LINES OF TRACT "D" OF THE SAID PLAT OF "MIAMI LAKES BUSINESS PARK 22-2)± THENCE SOUTH 0 DEGREES 05 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF THE PLAT OF "LAKE HOUSE APARTMENTS", AS RECORDED IN PLAT BOOK 168 AT PAGE 27 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR 283.34 FEET± THENCE SOUTH 89 DEGREES 54 MINUTES 23 SECONDS EAST ALONG THE NORTH LINE OF THE AFORESAID TRACT "F", "MIAMI LAKES BUSINESS PARK SECTION TWO" FOR 737.04 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

Civil

C-1	Cover Sheet
C-2	Water and Sewer Overall Plan
C-3	Domestic, Irrigation and Fire Plan
C-4	Domestic, Irrigation and Fire Plan
C-5	Sanitary Lateral Plan
C-6	Sanitary Lateral Plan
C-7	Water and Sewer Details
C-8	Paving, Grading and Drainage Overall Plan
C-9	Paving, Grading and Drainage Plan
C-10	Paving, Grading and Drainage Plan
C-11	Paving, Grading and Drainage Plan
C-12	Paving, Grading and Drainage Details
C-13	Paving, Grading and Drainage Details
C-14	Site Sections
C-15	Site Sections
C-16	Fire Access Plan
C-17	Concrete Slab Joint Details
C-18	Geometric Layout Plan
C-19	Pavement Marking and Signage
ESC-1	Erosion and Sediment Control Plan
ESC-2	Erosion and Sediment Control Details
ESC-3	Erosion and Sediment Control Details

Landscaping

TD-1	Tree Disposition Plan
L-1	Site Landscape Plan
L-2	West Sector Landscape Plan
L-3	East Sector Landscape Plan
L-4	Landscape Details, Notes, Specifications

Architectural

A-0	Cover sheet
A-1	Proposed Site plan
A-2	Building Plan
A-3	Exterior Elevations
A-4	Exterior Elevations

Electrical

E-1	Photometric Plan

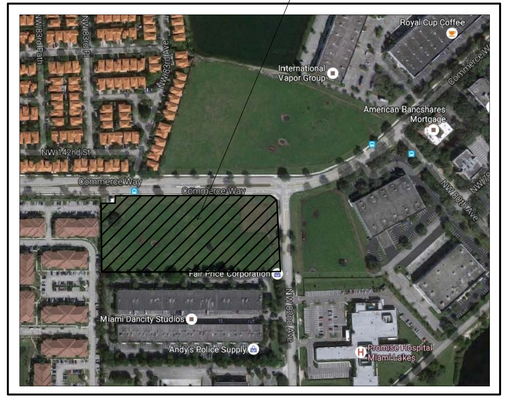
SCHWEBKE–SHISKIN & ASSOCIATES, INC.
LAND SURVEYORS - ENGINEERS - LAND PLANNERS
LB#87 CA#87
3240 CORPORATE WAY - MIRAMAR, FL 33025
TEL: (305) 652-7010 FAX: (305) 652-8284

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignfl.com
TEL: (954) 447-1852
FAX: (954) 442-8225
jimmy@jfsdesignfl.com

Rodriguez Pereira Architects, Inc.
8000 NW 7th. Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM
Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

FRANYIE ENGINEERS INC
10610 NW 27th. Street
Miami, FL 33172
Phone: (305)592-1360
Fax: (305)594-9279
ANTONIO FRANYIE
PE #11640 MECH
VIVIANA FRANYIE
PE #49985 ME
Certificate of Authorization # 00002906

SITE LOCATION FOR BLDG 64 & 65



Vicinity Map N.T.S.

NORTH

Existing Future Land Use Category
(Industrial and Office)
Zoning District (IU-C)
Folio Number (32-2022-001-0530)
Folio Number (32-2022-001-0650)

RODRIGUEZ
PEREIRA
ARCHITECTS,
INC.

Architecture
Interior Design
Space Planning
Planning and Urban Design

Corp. Llc. #AA-C001984

Lazaro J. Rodríguez, Architect
Adalberto Pereira, Architect

SITE PLAN REVIEW RESPONSES

To:	Brandon R. Schaad	**From:**	Jose Aguada
Company:	MIAMI LAKES	**Date**:	11-16-2016
Job:	**GRAHAM BLDGS 64&65**	**Job #:**	16-025
Process #	PHSP2016-0004	**Re:**	Application Comments

Following are our responses/clarifications for the comments:

1 – There are some discrepancies between plan sheets with respect to site information and zoning requirements….
Response: COORDINATED WITH LANDSCAPE

2 – Sheet A-1: call out more clearly the location of proposed bicycle parking.
Response: SEE PLANS SHEET A-1. HIGHLIGHTED "BICYCLE PARKING" AT THE FRONT NORTH OF THE BUILDING

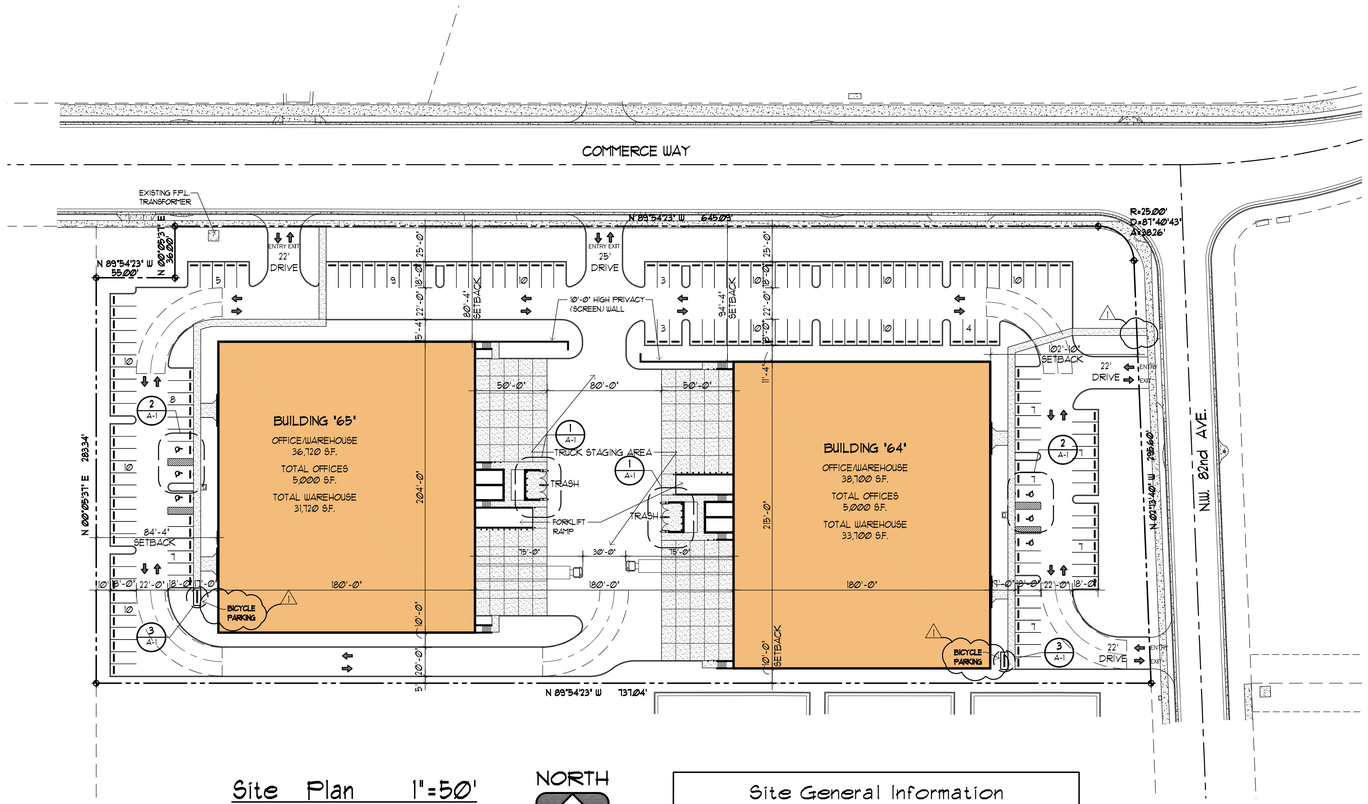
3 – Sheet A-1: the walkway leading to the eastern property line should extend all the way to the sidewalk.
Response: SEE PLANS SHEET A-1. SIDEWALK HAS BEEN EXTENDED TO THE EXISTING SIDEWALK

4 – Sheet A-1: Site General Information table indicated that 99 parking spaces are provided for Building 64 and 72 spaces are provided for Building 65……
Response: SEE PLANS SHEET A-1. PARKING SPACES AMOUNT REVISED TO REFLECT THE CORRECT 164 TOTAL

5 – *SEE LANDSCAPE DRAWINGS*

6 – *SEE LANDSCAPE DRAWINGS*

8000 NW 7 ST – SUITE 103 - MIAMI, FLORIDA 33126 - TEL.: (305) 592-8045 - FAX: (305) 592-5756



Site Plan 1"=50'

NORTH

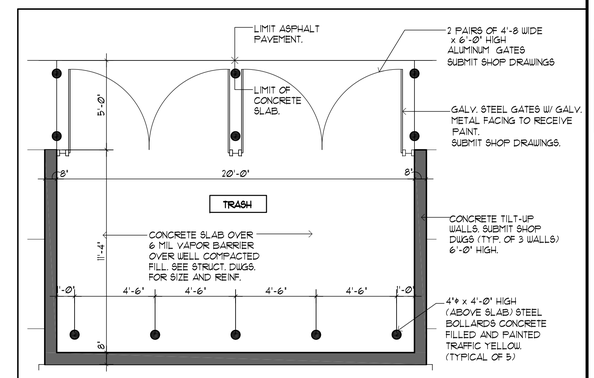
PROPOSED HEIGHT (FROM F.F.E.)

BUILDING '64'	
MAIN BUILDING	36'-0"
MAIN ENTRY PANELS	39'-6"
BUILDING '65'	
MAIN BUILDING	36'-0"
MAIN ENTRY PANELS	39'-6"

SETBACKS		REQUIRED	PROVIDED
FRONT	EAST (NW 82nd AVE)	50'-0"	102'-10"
SIDE	NORTH	25'-0"	80'-4"
SIDE	SOUTH	10'-0"	10'-0"
REAR	WEST	20'-0"	84'-4"

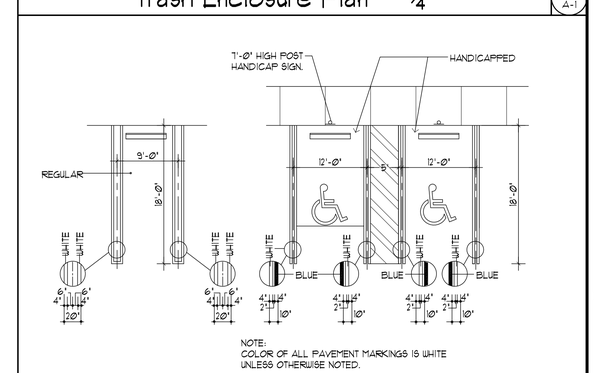
Site General Information

ZONING	IU-C
LAND AREA	231,198 S.F. 5.30 ACRES
BUILDING AREA	
OFFICES	10,000 S.F.
WAREHOUSE	65,420 S.F.
TOTAL BUILDING AREA (32.62%)	75,420 S.F.
PARKING REQUIREMENTS	
BUILDING '64'	
OFFICE AREA (5,000 S.F. @ 1 SPACE/300 SF.)	17 SPACES
WAREHOUSE AREA (33,700 S.F. @ 1/1000 SF. UP TO 10,000 S.F. AND 1/2000 SF. THEREAFTER)	22 SPACES
TOTAL REQUIRED	39 SPACES
TOTAL PROVIDED	95 SPACES
BUILDING '65'	
OFFICE AREA (5,000 S.F. @ 1 SPACE/300 SF.)	17 SPACES
WAREHOUSE AREA (31,720 S.F. @ 1/1000 SF. UP TO 10,000 S.F. AND 1/2000 SF. THEREAFTER)	21 SPACES
TOTAL REQUIRED	38 SPACES
TOTAL PROVIDED	69 SPACES
TOTAL PARKING REQUIRED (BOTH BLDGS)	77 SPACES
TOTAL PARKING PROVIDED (BOTH BLDGS)	164 SPACES
LANDSCAPE/OPEN SPACE REQ. (20% = 10 SF./P.S.)	47,880 S.F.
LANDSCAPE/OPEN SPACE PROV. (20.63%)	50,386 S.F.



Trash Enclosure Plan ¼"

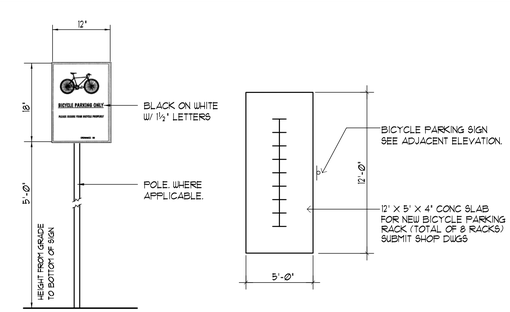
1 / A-1



NOTE:
COLOR OF ALL PAVEMENT MARKINGS IS WHITE UNLESS OTHERWISE NOTED.

Typical Stall Markings Dtl. N.T.S.

2 / A-1



Bicycle Parking Sign and Plan 3/16"

3 / A-1

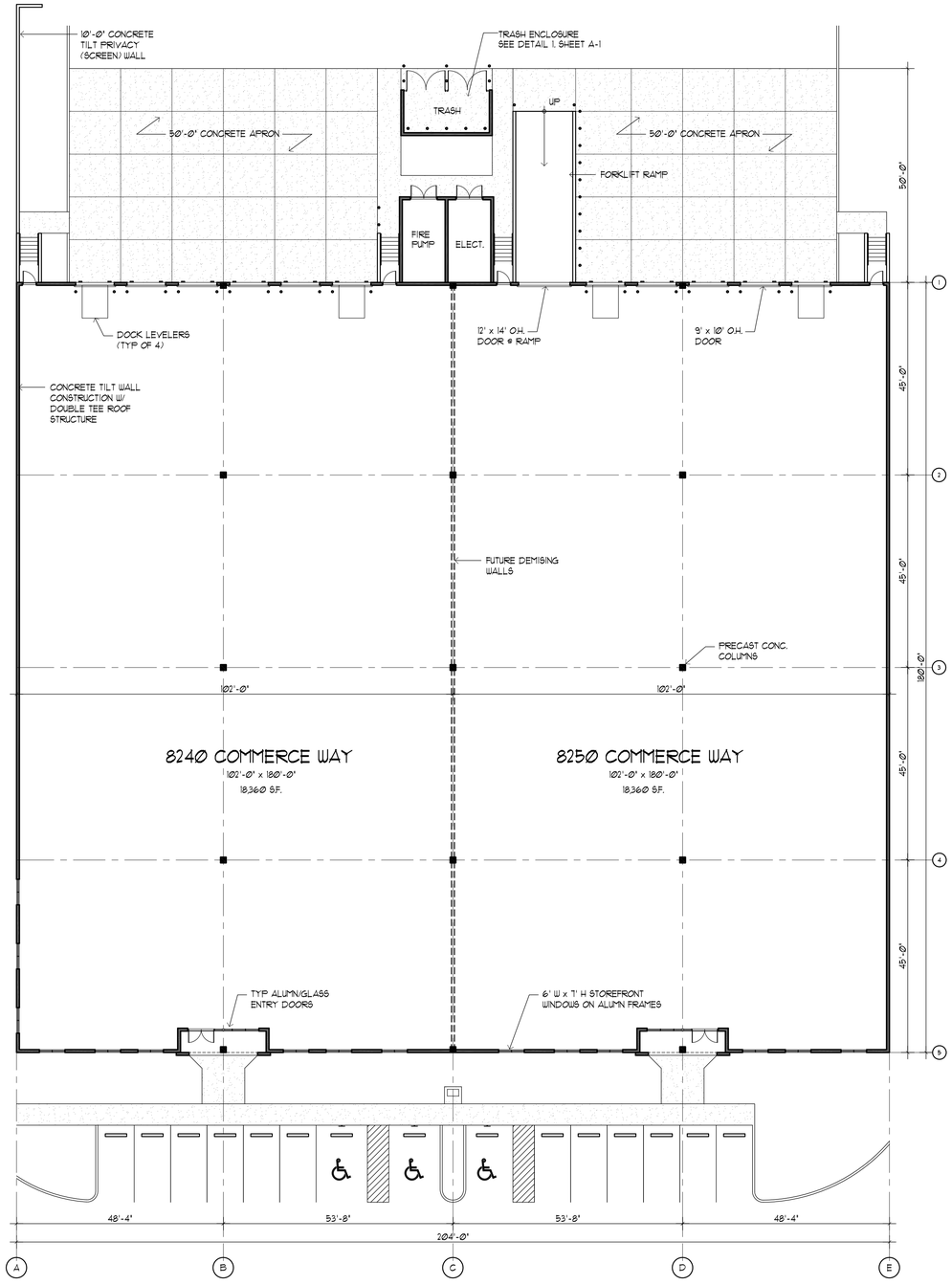
Rodriguez Pereira Architects, Inc.
8000 NW 7th Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM
Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

OFFICE/WAREHOUSE FACILITY FOR:
BLDG 64 & 65
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES, FLORIDA
PHONE : (305) 821-1130

REVISIONS	BY
1 11-15-16	

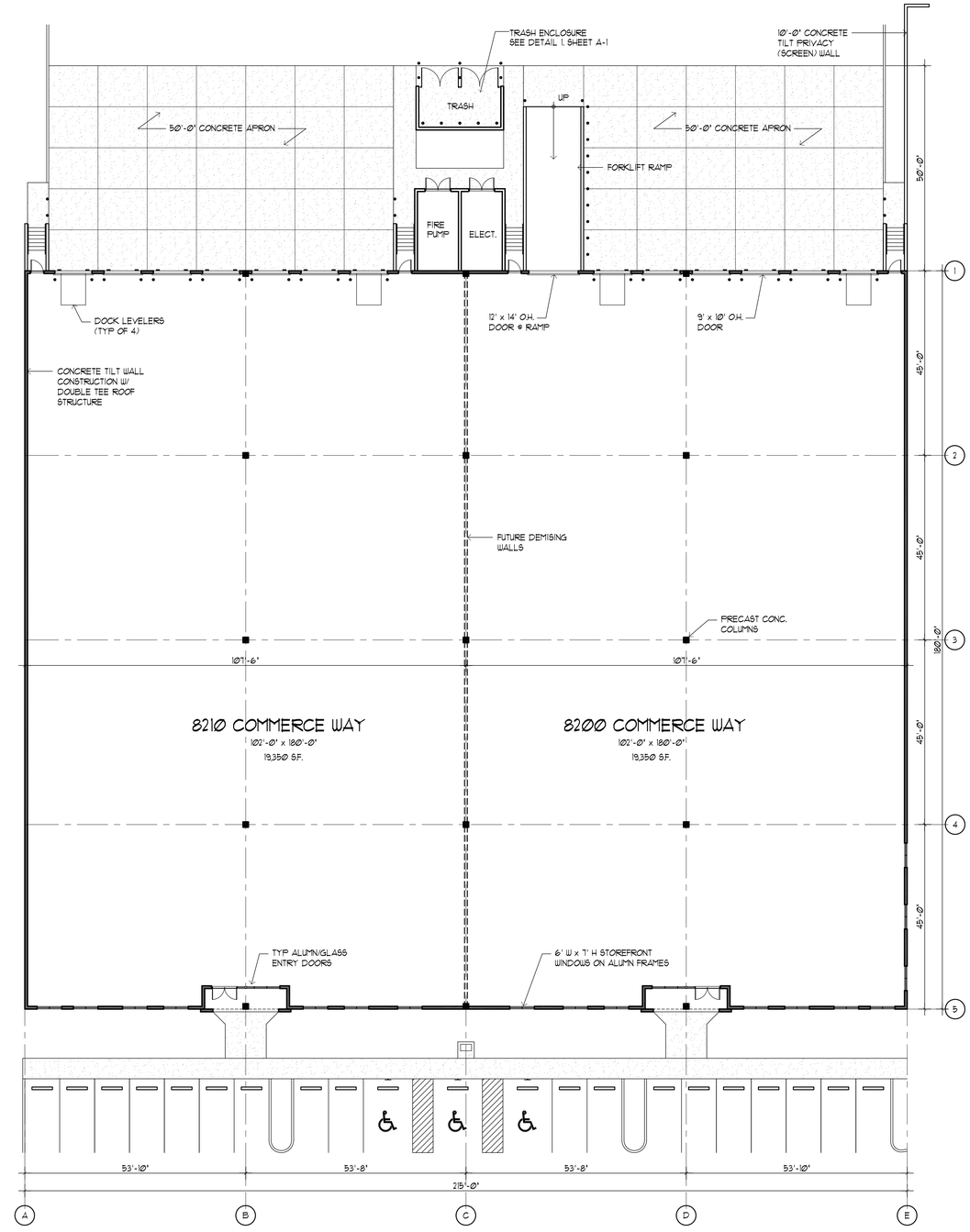
NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date	10-06-16
Scale	
Drawn	
Job	
Sheet	A-1
Of	Sheets



Building Plan 1/16"

BUILDING 65



Building Plan 1/16"

BUILDING 64

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

Rodriguez Pereira Architects, Inc.
8000 NW 7th Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM

OFFICE/WAREHOUSE FACILITY FOR:

BLDG 64 & 65

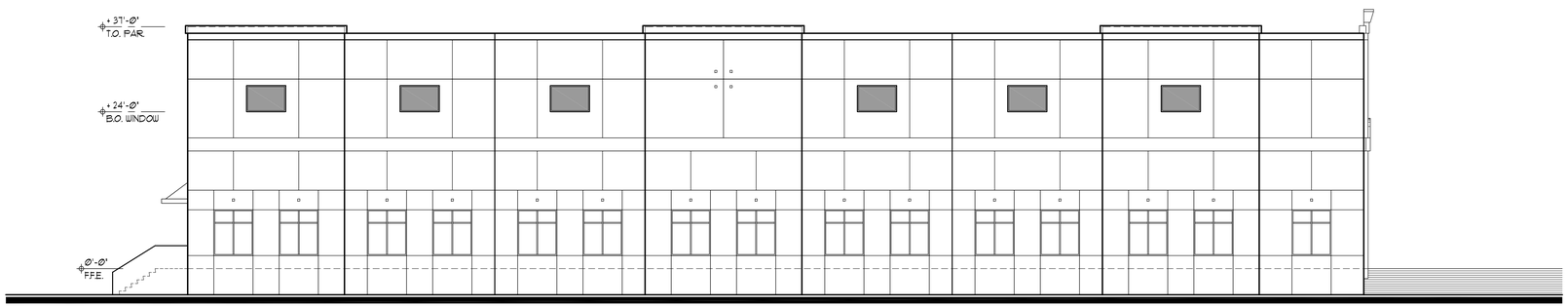
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES
PHONE : (305) 821-1130

REVISIONS	BY

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

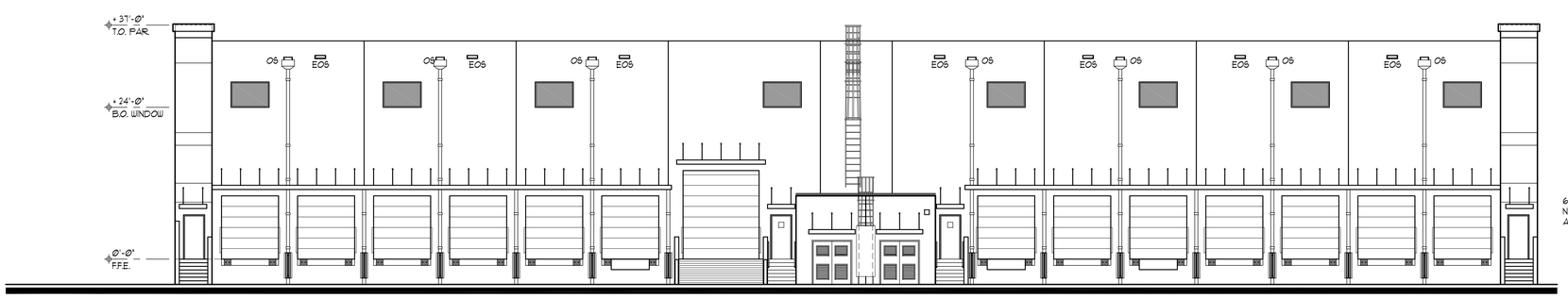
Date	10-06-16
Scale	
Drawn	
Job	
Sheet	A-2
Of	Sheets

Proposed Front Elevation 3/32"
BUILDING 64 EAST



Proposed Side Elevation 3/32"
BUILDING 64 SOUTH

Proposed Side Elevation 3/32"
BUILDING 64 NORTH



Proposed Rear Elevation 3/32"
BUILDING 64 WEST

6" HIGH THERMOPLASTIC HELVETICA WHITE NUMBERS ADHERED TO GLASS TRANSOM ABOVE ENTRY DOORS.

Enlarged Main Entrance Elevation 3/16"

Elevations Key Notes

1. CONCRETE TILT-UP PANELS TO RECEIVE TEXT-COTE PAINT.
2. IMPACT RESISTANT WINDOWS ON CLEAR ANODIZED IMPACT RESISTANT ALUMINUM FRAMES.
3. 3/4" PANEL JOINT
4. 1 1/2" PANEL REVEAL
5. 6'-0" X 7'-0" X 3/4" PANEL REVEAL SIMULATING WINDOW (PAINT ACCENT COLOR)
6. 8"X8" DOWNSPOUTS PAINT TO MATCH BLDG.
7. PRE-ENGINEERED ALUMN CANOPY (WHITE).
8. 9'-0" X 10'-0" ROLL-UP DOORS.
9. 12'-0" X 14'-0" ROLL-UP TRUCK DOORS.
10. CONC. STAIR
11. RUBBER TRUCK DOOR BUMPERS (TYP. OF 2 PER DOOR).
12. FORKLIFT CONC. RAMP
13. DECORATIVE FOAM CAP MOLDING
14. DECORATIVE MOLDING
15. DECORATIVE MOLDING
16. 10' HT. PRIVACY SCREEN TILT-UP WALL.
17. 3"x3"x1/4"GALV. STEEL GUARDS. (TYPYCAL 2 PER DOOR)

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

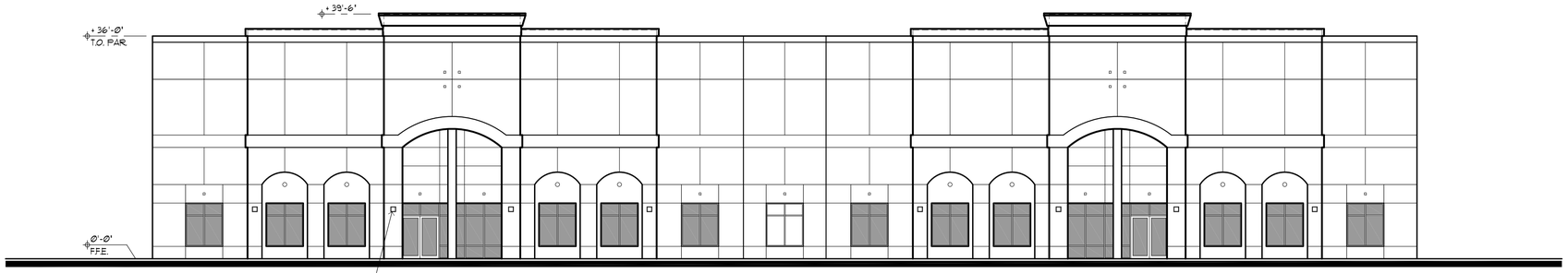
Rodriguez Pereira
Architects, Inc.
8000 NW 7th Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM

OFFICE/WAREHOUSE FACILITY FOR:
BLDG 64 & 65
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES, FLORIDA
PHONE : (305) 821-1130

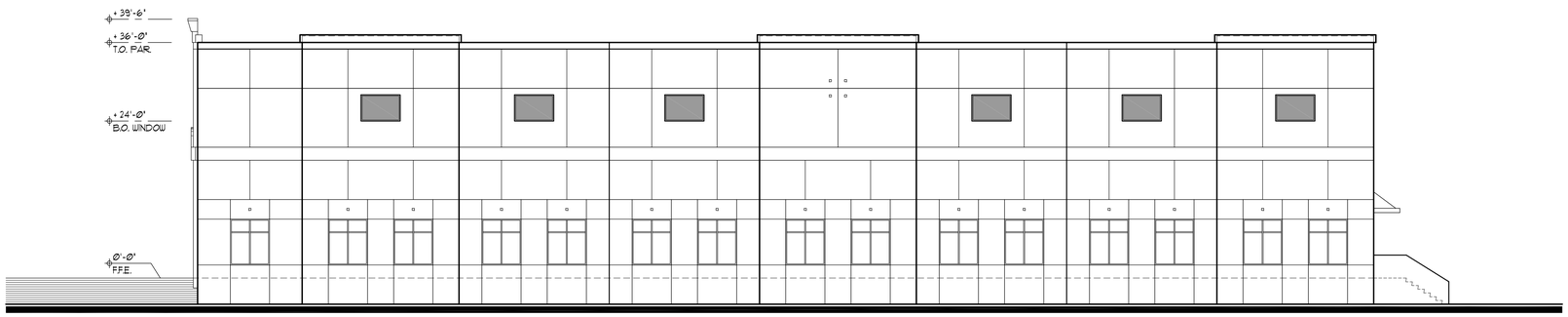
REVISIONS	BY

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date	10-06-16
Scale	
Drawn	
Job	
Sheet	A-3
Of	Sheets

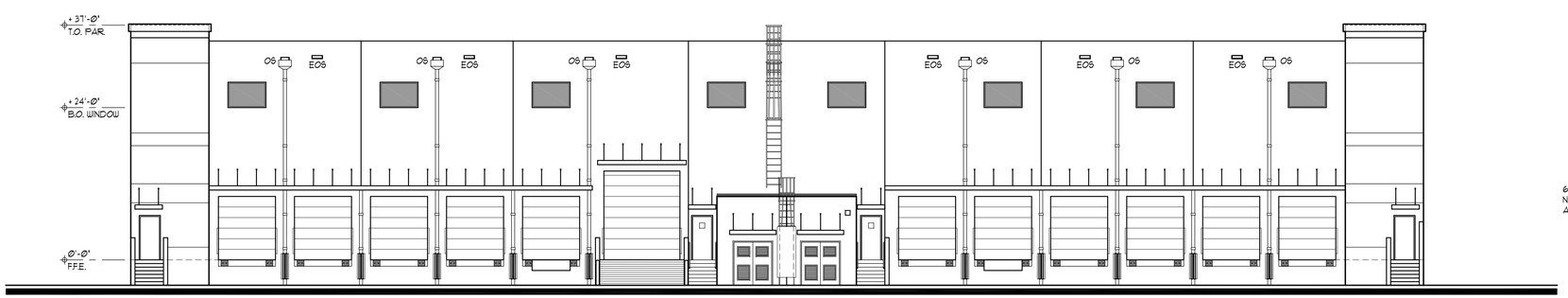


Proposed Front Elevation 3/32"
BUILDING 65 WEST



Proposed Side Elevation 3/32"
BUILDING 65 SOUTH

Proposed Side Elevation 3/32"
BUILDING 65 NORTH



Proposed Rear Elevation 3/32"
BUILDING 65 EAST

Elevations Key Notes

1. CONCRETE TILT-UP PANELS TO RECEIVE TEXT-COTE PAINT.
2. IMPACT RESISTANT WINDOWS ON CLEAR ANODIZED IMPACT RESISTANT ALUMINUM FRAMES.
3. 3/4" PANEL JOINT
4. 1 1/2" PANEL REVEAL
5. 6'-0" X 7'-0" X 3/4" PANEL REVEAL SIMULATING WINDOW (PAINT ACCENT COLOR)
6. 8"X8" DOWNSPOUTS PAINT TO MATCH BLDG.
7. PRE-ENGINEERED ALUMN CANOPY (WHITE).
8. 9'-0" X 10'-0" ROLL-UP DOORS.
9. 12'-0" X 14'-0" ROLL-UP TRUCK DOORS.
10. CONC. STAIR
11. RUBBER TRUCK DOOR BUMPERS (TYP. OF 2 PER DOOR).
12. FORKLIFT CONC. RAMP
13. DECORATIVE FOAM CAP MOLDING
14. DECORATIVE MOLDING
15. DECORATIVE MOLDING
16. 10' HT. PRIVACY SCREEN TILT-UP WALL.
17. 3"x3"x1/4"GALV. STEEL GUARDS. (TYPYCAL 2 PER DOOR)

6" HIGH THERMOPLASTIC HELVETICA WHITE NUMBERS ADHERED TO GLASS TRANSOM ABOVE ENTRY DOORS.

Enlarged Main Entrance Elevation 3/16"

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

Rodriguez Pereira
Architects, Inc.
8000 NW 7th Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM

OFFICE/WAREHOUSE FACILITY FOR:
BLDG 64 & 65
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES, FL.
PHONE : (305) 821-1130

REVISIONS	BY

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL. IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date	10-06-16
Scale	
Drawn	
Job	
Sheet	A-4
Of	Sheets

GENERAL ELECTRICAL NOTES:

1.0 GENERAL
1.1 WORK INCLUDED UNDER THIS DIVISION CONSISTS OF PROVIDING LABOR MATERIALS, APPLIANCES, EQUIPMENT, TOOLS, TRANSPORTATION, SUPERINTENDENCE AND SERVICES REQUIRED TO CONSTRUCT AND INSTALL COMPLETE AND PROPER OPERATING ELECTRICAL SYSTEMS AS SPECIFIED, INDICATED, AND ELSEWHERE REQUIRED.
1.2 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC 2008), FLORIDA BUILDING CODE (FBC 2010) AND ALL OTHER APPLICABLE CODES IN THEIR LATEST EDITION.

2.0 EXAMINATION OF SITE
2.1 BIDDER IS ADVISED TO VISIT THE SITE AND ACQUAINT HIMSELF WITH WORKING CONDITIONS. CONTRACTOR SHALL ACCEPT CONDITIONS AS THEY EXIST ON BID DATE.

3.0 MATERIALS
3.1 MATERIALS, EQUIPMENT AND APPLIANCES SHALL BE NEW AND OF BEST QUALITY UNLESS OTHERWISE INDICATED.
3.2 DETERMINE THAT PROPOSED EQUIPMENT CAN BE INSTALLED IN SPACE AVAILABLE. INSTALL EQUIPMENT SO PARTS ARE READILY ACCESSIBLE FOR INSPECTION AND MAINTENANCE. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR DISMANTLING EQUIPMENT TO OBTAIN ENTRANCE INTO BUILDING.
3.3 MATERIALS SHALL BEAR UNDERWRITER'S LABEL WHERE SUCH STANDARDS HAVE BEEN ESTABLISHED AND LISTED BY UNDERWRITER'S LABORATORIES, INC.
3.4 MATERIALS, EQUIPMENT AND APPLIANCES SHALL CONFORM TO LATEST STANDARDS OF: AMCA, ANSI, ASTM, NEMA, ARI & NFPA.
3.5 USE EXTREME CARE IN SELECTION AND INSTALLATION OF EQUIPMENT TO INSURE THAT NOISE AND VIBRATION ARE HELD TO ABSOLUTE MINIMUM. CORRECT OBJECTIONABLE NOISE AND VIBRATION. PROVIDE ELIMINATORS REQUIRED FOR PROPER RESULTS.

4.0 PERMITS, FEES AND CODES
4.1 COST FOR FEES, PERMITS, TESTS AND INSPECTIONS SHALL BE PAID FOR BY THIS CONTRACTOR.
4.2 INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS INCLUDING: F.B.C., N.E.C., N.F.P.A., O.S.H.A. AND STATE, COUNTY AND CITY DEPARTMENTS OF HEALTH.

5.0 COOPERATE WITH OTHER TRADES
5.1 MAKE KNOWN ARRANGEMENT OF WORK AND CHECK ARRANGEMENT AND LOCATION OF OTHER TRADES TO AVOID CONFLICTS. EXAMINE DRAWINGS OF OTHER TRADES TO DETERMINE EXACT EQUIPMENT LOCATIONS FOR ROUGH IN.
5.2 PROVIDE (FURNISH & INSTALL) POWER SUPPLY WIRING AND CONDUIT TO ALL TEMPERATURE CONTROL SYSTEMS, THERMOSTATS AND VAV TERMINALS ELECTRICAL CONTRACTOR SHALL COORDINATE ALL LOCATIONS AND REQUIREMENTS WITH THE MECHANICAL CONTRACTOR.

6.0 OPERATING INSTRUCTIONS
6.1 CONTRACTOR SHALL PROVIDE TO OWNER OPERATION AND MAINTENANCE MANUALS. CONTRACTOR SHALL INSTRUCT OWNER OR OWNER'S REPRESENTATIVE IN OPERATION OF ALL EQUIPMENT. TYPE WRITTEN LABELS SHALL BE PLACED IN PANEL BOXES DESIGNATING CIRCUIT LAYOUTS.

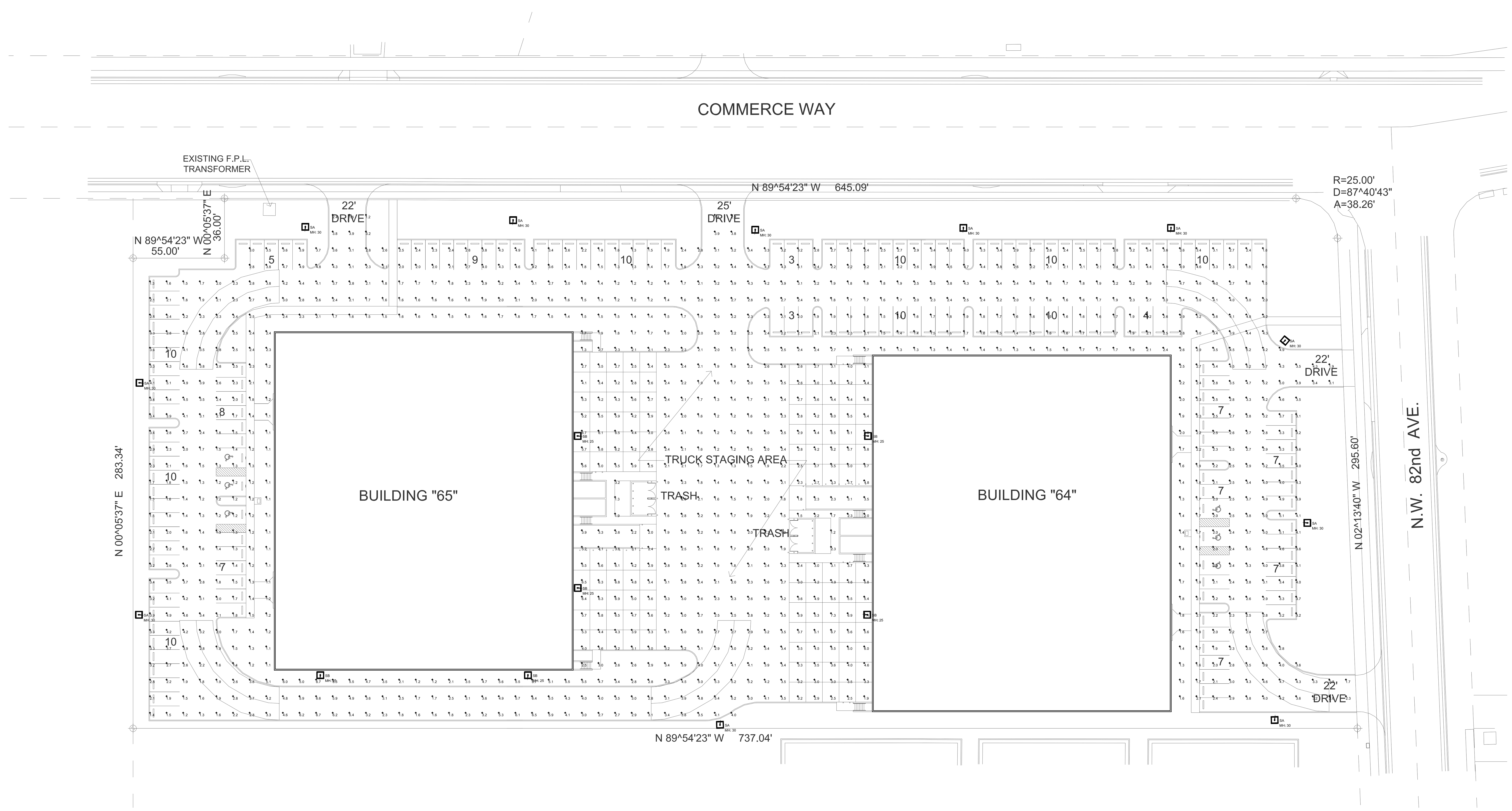
7.0 INSPECTION
7.1 NOTIFY OWNER TWENTY-FOUR HOURS IN ADVANCE WHEN PIPING OR EQUIPMENT IS TO BE TESTED, BEFORE PIPING IS INSULATED OR CONCEALED, AND BEFORE TRENCHES ARE BACKFILLED.
7.2 FAILING TO COMPLY WITH THE ABOVE, CONTRACTOR SHALL UNCOVER AND RETEST LINES, REPAIRING DAMAGE TO OTHER CONTRACTOR'S WORK, AS WELL AS HIS OWN.
7.3 BEFORE REQUESTING FINAL PAYMENT, INSPECT INSTALLATION TO ASSURE THAT WORK IS COMPLETE AND REQUIREMENTS OF CONTRACT HAVE BEEN FULFILLED.

8.0 CUTTING AND PATCHING
8.1 UNLESS OTHERWISE INDICATED, DO NO MORE CUTTING AND PATCHING THAN REQUIRED FOR INSTALLATION OF WORK.
8.2 CUTTING OF STRUCTURAL MEMBERS OR EXPOSED SURFACE OF CONCRETE BLOCK WILL NOT BE PERMITTED.

9.0 MATERIALS AND EQUIPMENT
9.1 CONDUCTORS: CONDUCTORS SHALL BE THWN COPPER AS NOTED ON DRAWINGS. CONDUIT SHALL BE EMT OR PVC ONLY. NO MC CABLE.
9.2 RECEPTACLES, SWITCHES & TELEPHONE OUTLETS: SHALL BE AS MANUFACURED BY LEVITON, HUBBEL OR APPROVED EQUAL. COLOR AND STYLE AS SPECIFIED BY ARCHITECT AND/OR OWNER.
9.3 COMPUTER OUTLETS: (IF APPLICABLE) SHALL BE AS SPECIFIED BY OWNER.
9.4 PANELBOARDS:
A. GENERAL: INTERRUPTING CAPACITY RATINGS SHALL BE VERIFIED AND BASED ON THE AVAILABLE SYMMETRICAL FAULT CURRENT GIVEN BY THE POWER COMPANY UPON LOCATION & INSTALLATION OF TRANSFORMER.
B. DIRECTORY: COMPLETE AT END OF JOB, TYPEWRITTEN.
C. FINISH: ANSI #61 ENAMEL OVER A RUST INHIBITING TREATMENT AFTER FABRICATION AND BEFORE ASSEMBLY. AFTER INSTALLATION, AND BEFORE ACCEPTANCE BY OWNER, ASSEMBLY SHALL BE PAINTED WITH A RUST INHIBITING PAINT (COLOR SELECTED BY ARCHITECT).
D. NAMEPLATES: PROVIDE A LAMACOID NAMEPLATE WITH 5/16" LETTERS ENGRAVED ON FRONT FACE SHOWING PANEL NAME, VOLTAGE AND PANEL RATING. COORDINATE TO GIVE SAME NAME AS SHOWN ON PANELBOARD SCHEDULE.
E. MANUFACTURERS: GENERAL ELECTRIC, WESTINGHOUSE, I-T-E, SQUARE D.
9.5 FIXTURES:
A. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL LIGHTING FIXTURES AS SPECIFIED ON DRAWINGS WITH DEVELOPER AND/OR ARCHITECT APPROVAL. VERIFY BEFORE PURCHASE AND INSTALLATION.
9.6 LAMPS: ALL LAMPS USED ON THIS PROJECT SHALL BE NEW, DELIVERED TO THE JOB SITE IN THE ORIGINAL PACKING CASES AND SLEEVES AND SHALL BE OF THE SAME MANUFACTURER UNLESS OTHERWISE SPECIFIED.
9.7 BALLAST: ALL BALLASTS SHALL BE RATED TO OPERATE AT THE SERVICE VOLTAGE AS SHOWN AND AS SPECIFIED, PLUS OR MINUS THE DEVIATIONS WITH THE ELECTRIC SERVICE COMPANY IS ALLOWED BY FRANCHISE.

10.0 FUSES
10.1 PART 1: GENERAL
A. SUPPLY AND INSTALL ALL FUSES IN EACH FUSED DEVICE PER EQUIPMENT NAMEPLATES.
B. ALL AIR CONDITIONING, ELEVATORS, MOTORS, KITCHEN EQUIPMENT, ETC. SHALL BE FUSED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
C. INSTALL LABELS IN ALL FUSED DEVICES INDICATING PROPER SIZE FUSE TO USE.

11.0 MISCELLANEOUS
11.1 ALL EMPTY CONDUIT TO BE SUPPLIED WITH NYLON PULL WIRE.
11.2 ALL FLEX CONDUIT SHALL HAVE "TITE-BITE" CONNECTORS.
11.3 ELECTRICAL CONTRACTOR TO INSTALL AND WIRE OUTLETS IN FIXTURES WHERE SHOWN ON DRAWINGS – OUTLETS TO BE INSTALLED IN FIXTURES AFTER FIXTURE INSTALLATION.
11.4 ALL DEDICATED CIRCUITS SHALL BE LABELED AS SUCH AT OUTLET.
11.5 PROVIDE (FURNISH & INSTALL) POWER SUPPLY WIRING SOURCE TO POWER CONNECTION, INCLUDE STARTERS, DISCONNECTS & REQUIRED ELECT. DEVICES, INTERLOCK WIRING, RACEWAY, CONDUITS, PULL WIRES TO MECH. SYSTEMS INCLUDING HVAC CONTROL . COORD. W/ MECH. CONTRACTOR. COORDINATE ROUTING OF POWER & CONTROL WIRING OF HVAC SPLIT SYSTEM WITH EXISTING CONDUITS & EQUIPMENT LOCATION.
11.6 PROVIDE COMPLIANCE W/ MULTIWIRE BRANCH CIRCUITS BY PROVIDING INDIVIDUAL NEUTRALS.

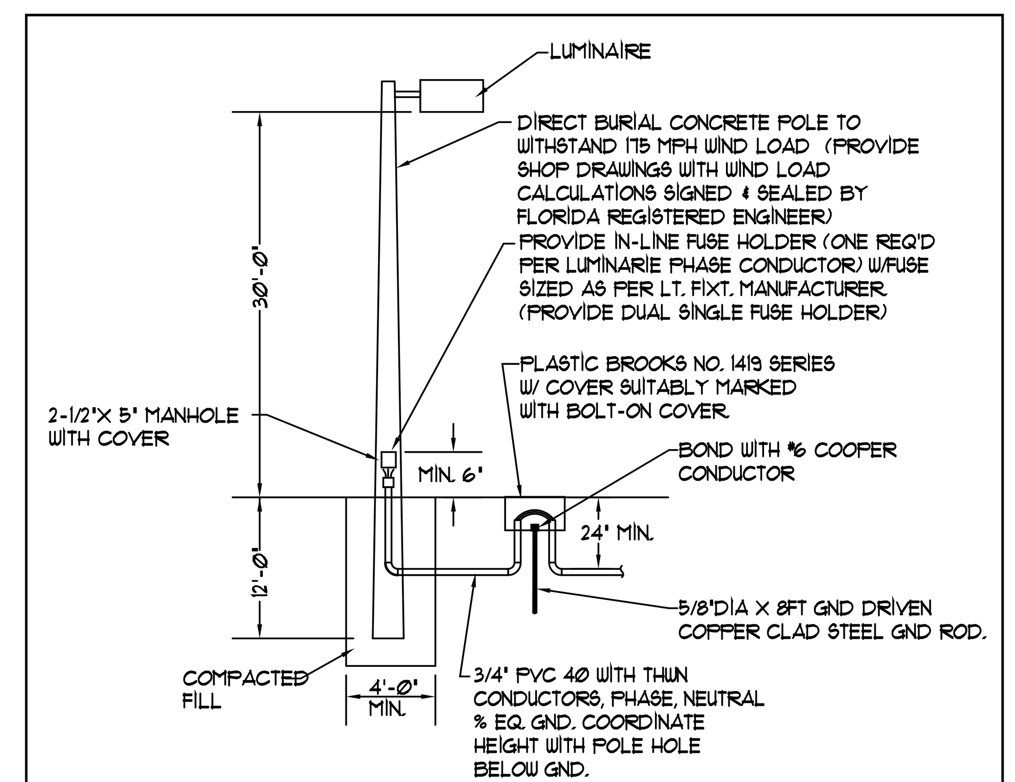


Electrical Site Plan 1"=40'-0"
(Buildings #64 and # 65 only)

NORTH

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	11	SA	SINGLE	N.A.	0.900	EATON: GLEON-AF-06-LED-E1-T4FT POLE MOUNTED
	6	SB	SINGLE	N.A.	0.900	EATON: GLEON-AF-06-LED-E1-T4FT-BUILDING MOUNTED

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	2.85	7.4	1.1	2.59	6.73
SITE FOR BUILDING 54B	Illuminance	Fc	3.21	8.3	1.0	3.21	8.30



PARKING SITE LUMINAIRES
MOUNTING DETAIL
N.T.S.

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSTRUED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT OCCUR IN DIFFERENT MUNICIPALITIES FINAL APPROVAL AND REVIEW IS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.

ELECTRICAL SYMBOL LIST

- 3 W. GROUNDED DUPLEX RECEPTACLE 20 A. 150 V. M.H. + 15" A.F.F.
- 3 W. GROUNDED DEDICATED RECEPTACLE 20 A. 150 V. M.H. + 15" A.F.F.
- 3 W. GROUNDED SINGLE RECEPTACLE 30 A. 208 V. M.H. + 15" A.F.F.
- JUNCTION BOX CEILING OR FLOOR MOUNTED
- JUNCTION BOX WALL MOUNTED M.H. AS DIRECTED
- TELEPHONE OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (3/4" CONDUIT ONLY TO 6" ABOVE CEILING– NO WIRING)
- DUAL (1)VOICE/ (1) DATA OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (1" CONDUIT ONLY TO 6" ABOVE CEILING– NO WIRING)
- (2) VOICE/ (2) DATA OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (1" CONDUIT ONLY TO 6" ABOVE CEILING– NO WIRING)
- DATA OUTLET M.H. + 15" A.F.F. OR AS INDICATED. (3/4" CONDUIT ONLY TO 6" ABOVE CEILING– NO WIRING)
- TELEVISION OUTLET M.H. +15" A.F.F.
- THERMOSTAT M.H. + 50" A.F.F.(REFER. TO A/C DWGS FOR LOCATION)
- MOTOR OUTLET
- ELECTRICAL PANEL
- SWITCHBOARD
- FUSED DISCONNECT SWITCH W/DUAL ELEMENT FUSES
- PULL OUT BOX W/ FUSES, FUSED PER EQ. NAME PLATE
- 3 b INCANDESCENT FIXTURE OUTLET CEILING MOUNTED. NUMBER INDICATES CIRCUIT, LETTER INDICATES SWITCHING ARRANGEMENT
- INCANDESCENT FIXTURE OUTLET WALL MOUNTED M.H. AS INDICATED
- FLUORESCENT FIXTURE OUTLET STRIP
- FLUORESCENT 3 LAMPS F32T8 FIXTURE EXISTING TO BE RELOCATED, REPAIRED & RELAMPED. REPLACE & ADD AS NEEDED
- FLUORESCENT FIXTURE OUTLET CEILING MOUNTED STRIP CONNECTED TO EMERGENCY CIRCUIT OR NIGHT LIGHT CIRCUIT
- EMERGENCY LIGHT WITH BATTERY BACK UP
- EXIT LIGHT CEILING MOUNTED ARROW INDICATES DIRECTION OF EGRESS
- EXIT LIGHT WALL MOUNTED ARROW INDICATES DIRECTION OF EGRESS
- S SINGLE POLE TOGGLE SWITCH M.H. + 50" A.F.F.
- S3 THREE-WAY SWITCH M.H. + 50" A.F.F.
- S4 FOUR-WAY SWITCH M.H. + 50" A.F.F.
- SD DIMMER SWITCH M.H. + 50" A.F.F., FOR DIMMER SIZE SEE DIMMER SCHEDULE
- Sos OCCUPANCY SENSOR TYPE SWITCH
- CEILING OFFICE OCCUPANCY SENSOR
- WAREHOUSE OR STORAGE OCCUPANCY SENSOR
- FLEXIBLE CONNECTION.
- HOME RUN TO PANEL. HASH MARKS INDICATE NUMBER OF WIRES. NO MARKS INDICATE TWO WIRES. GROUND WIRE NOT INDICATED.PROVIDE AS REQ'D BY N.E.C.
- (SD) SMOKE DETECTOR DEVICE. ELECTRICAL
- A.F.F. ABOVE FINISHED FLOOR.
- G.F.I. GROUND FAULT INTERRUPTER
- W.P. WEATHER PROOF.
- A.G. ABOVE GRADE.
- M.H. MOUNTING HEIGTH.
- EM. CONNECTED TO EMERGENCY SYSTEM.
- N.F. NON-FUSED
- 40/60 60 A. RATING FUSED AT 40 A. DUAL ELEMENT FUSES.
- (R) EXISTING LIGHTS TO BE RELOCATED

CALL 2 WORKING DAYS BEFORE YOU DIG IN FLORIDA
IT'S THE LAW !
Always call 811 before you dig
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

Rodriguez Pereira Architects, Inc.
8000 NW 7th. Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM

Office - Warehouse Facilities for:
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES, FLORIDA
PHONE : (305) 821-1130

REVISIONS	BY

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

FRANYIE ENGINEERS INC.
ALEJANDRO FRANYIE PE #73089 MECH
VIVIANA FRANYIE PE #49985 ME
Certificate of Authorization # 00002906
10610 NW 27 Street, Miami FL 33172
TEL: (305) 592-1360 FAX: (305) 594-9279
www.franyieengineers.com

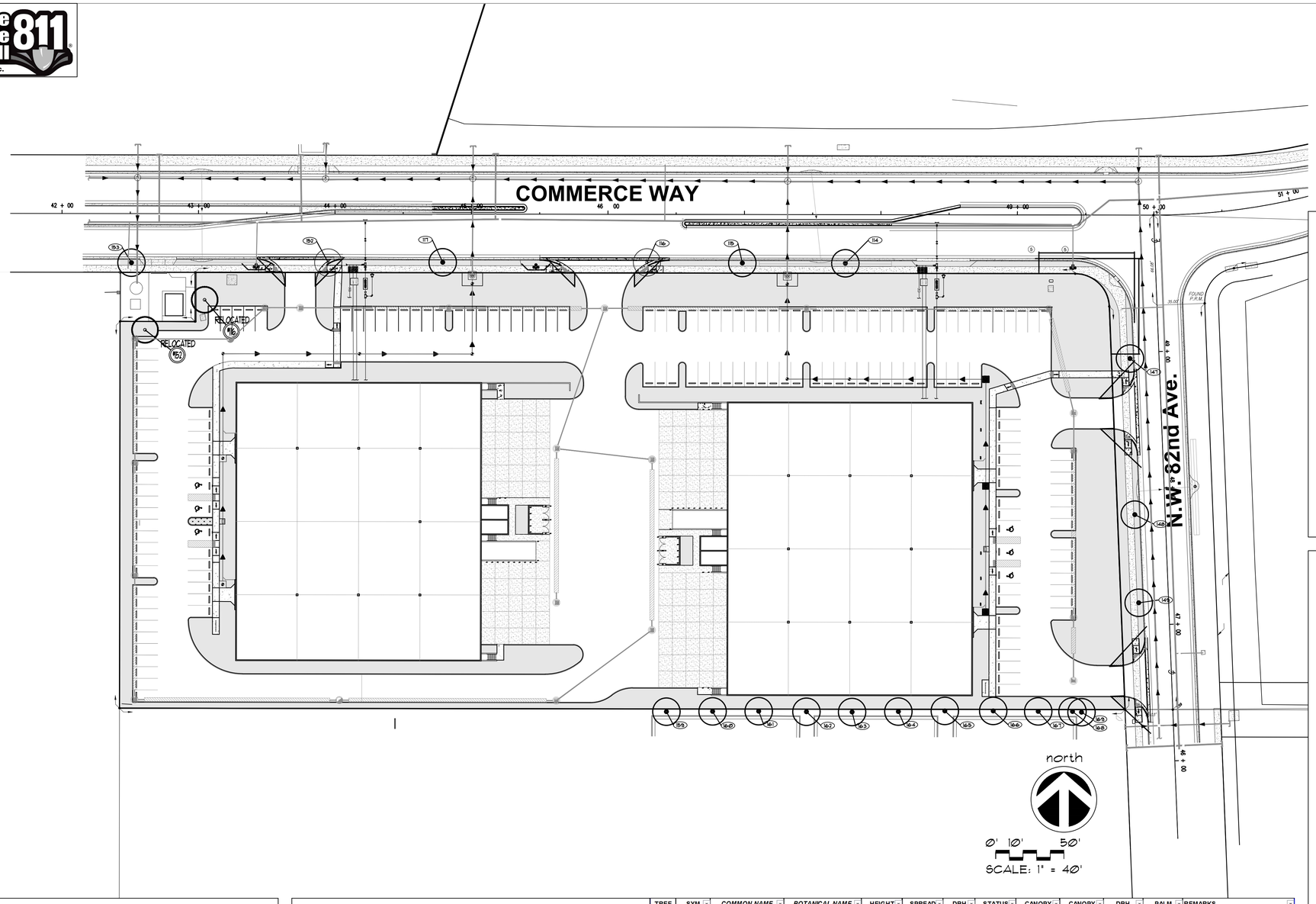
DESIGN	DRAWN	DATE
----	----	10-06-16

JOB NUMBER -----

Date
Job
Sheet
E-01

Sunshine State One Call of Florida, Inc. 811

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 0000393
www.jfsdesignfl.com
1833 N.E. 149th TERRACE
PEMBROKE PINES, FL. 33028
TEL: (954) 447-1892
FAX: (954) 442-8028
jimmy@jfsdesignfl.com



TREE TRANSPLANTING PROCEDURAL SPECIFICATION

PURPOSE: TO MAXIMIZE THE SUCCESS OF TREE TRANSPLANTING OPERATIONS.

ALL STANDARDS SHALL MEET OR EXCEED THE ANSI A300 (PART 6)-2005 (TRANSPLANTING) STANDARD PRACTICES AND ANY APPLICABLE LOCAL CODES.

CONTRACTOR SHALL EMPLOY AN ISA CERTIFIED ARBORIST WITH VERIFIABLE TREE TRANSPLANT EXPERIENCE AS THE 'EXPERT ARBORIST OF RECORD' TO CARRY OUT THE FOLLOWING DUTIES:

SHALL PROVIDE A TREE RELOCATION PLAN FOR APPROVAL BY THE OWNER'S AGENT BEFORE ANY WORK CAN COMMENCE.

SHALL MAKE SITE VISITS PRIOR TO ANY RELOCATION WORK TO INSPECT THAT PROPER PREPARATION WORK IS PERFORMED TO THE TREE RELOCATION GUIDELINES.

SHALL MAKE SITE VISITS DURING RELOCATION WORK TO INSURE WORK IS BEING PERFORMED TO THE TREE RELOCATION GUIDELINES.

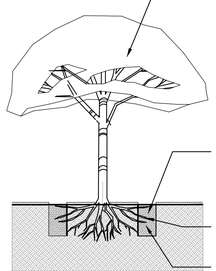
SHALL DOCUMENT ALL INSPECTIONS AND PROVIDE REPORT TO THE OWNER'S AGENT WITHIN 5 BUSINESS DAYS OF SITE VISIT.

SHALL SUBMIT PRIOR TO FINAL ACCEPTANCE BY OWNER'S AGENT, A POST-TRANSPLANT CARE GUIDE FOR UP TO THREE YEARS THAT INCLUDES WATERING, FERTILIZATION, PRUNING, PEST CONTROL, STAKING, ETC., FOR APPROVAL.

NOTES:

1. SEE SHEET L-1 FOR PROPOSED TREE AND PALM LOCATIONS.
2. THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (TOWN OF MIAMI LAKES). TREE, PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
3. LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE, EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
4. ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY 1, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.
5. ALL TREES AND PALMS TO BE RELOCATED SHALL BE ROOT PRUNED AND CANOPY PRUNED ACCORDING TO ALL ACCEPTED STANDARDS AS DEFINED BY THE NATIONAL ARBORIST ASSOCIATION, AND ALL PRE AND POST-TRANSPLANT OPERATIONS SHALL BE COORDINATED WITH UTMOST CARE TO MINIMIZE DAMAGE AND TRANSPLANT SHOCK. WATERING-IN AND WATERING SCHEDULES SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR REVIEW AND APPROVAL PRIOR TO RELOCATION.
6. ALL TREES AND PALMS TO BE RELOCATED SHALL BE STAKED AND BRACED TO INSURE STABILITY AND MINIMIZE ROOT DAMAGE DURING THE PLANT ROOT RECUPERATION PERIOD.
7. CONTRACTOR SHALL VERIFY WITH THE PROJECT SUPERINTENDENT THE PROPOSED LANDSCAPE AREAS PRIOR TO TREE AND PALM RELOCATION TO INSURE PROPER RELOCATION AND MINIMIZE ANY FIELD DISCREPANCIES WITH RESPECT TO PROPOSED PAVING, BUILDINGS, AMENITIES, ABOVE AND BELOW GROUND UTILITIES AND LIMITS OF PROPERTY.
8. CONTRACTOR SHALL ESTABLISH AN IRRIGATION SYSTEM TO PROVIDE FOR PRE AND POST-TRANSPLANT IRRIGATION SCHEDULING. TREE AND PALM FERTILIZATION SHALL BE ESTABLISHED CONCURRENTLY WITH IRRIGATION PRE AND POST-FERTILIZATION, THIS PROCEDURE SHALL BE CONDUCTED TO OPTIMIZE PLANT ESTABLISHMENT.
9. CONTRACTOR SHALL COORDINATE WITH THE PROJECT SUPERINTENDENT TO PLANT ALL RELOCATED TREES AND PALMS AT THE FINAL GRADE OF SITE.
10. SEE "ROOT PRUNING DETAIL" AND "TREE TRANSPLANT DETAIL AS SHOWN ON THE PLANS.

REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE TOWN OF MIAMI LAKES.



TREE TO BE LIGHTLY PRUNED BY HAND.

WORK TO BE SUPERVISED BY AN ISA CERTIFIED ARBORIST OR A COMPANY WITH A CERTIFIED ISA ARBORIST ON STAFF.

ROOT PRUNING MUST BE DONE A MINIMUM OF 8 WEEKS PRIOR TO TRANSPLANTING.

WATERING MUST PROVIDE SUFFICIENT WATER TO MAINTAIN A MOIST CONDITION IN THE ROOTS. ONCE A WEEK OR MORE ACCORDING TO CONDITIONS.

TAKE EXTRA CARE NOT TO DAMAGE THE TRUNK OR BRANCHES.

TRENCH TO BE LIGHTLY FILLED WITH FIBROUS MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. TRENCH SHALL USE SHARP INSTRUMENTS OR MACHINERY. RIPPING OR TEARING OF THE ROOTS IS STRICLY PROHIBITED.

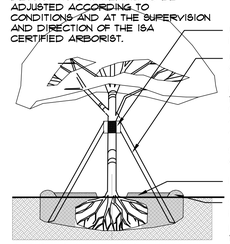
ALL TORN ROOTS MUST BE TRIMMED TO SOLID WOOD WITH CLEAN, SHARP INSTRUMENTS

DEPTH TO BE 18" MIN. TO 36" -VARIES WITH SIZE OF TREE

ROOT PRUNING DETAIL

N.T.S.

REF: "THE LANDSCAPE MANUAL" DADE CO. DEPT. OF PLANNING & ZONING, 2001



POST TRANSPLANT WATERING TO PROVIDE MOISTURE AND REDUCE ANY EXCESSIVE STRESS DUE TO DESSICATION. WATERING TO BE ADJUSTED ACCORDING TO CONDITIONS AND AT THE SUPERVISION AND DIRECTION OF THE ISA CERTIFIED ARBORIST.

TRANSPLANT OPERATIONS TO BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

WOOD BATTENS FOR SUPPORT BRACES DO NOT NAIL TO TREE

WOOD BRACES PROVIDED- A MINIMUM OF THREE- TO BRACE AND SUPPORT TREE. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADD BRACING NECESSARY TO PROVIDE FULL SUPPORT AND CHECK REGULARLY AND RE-BRACE AS NEEDED. 4" X 4" AS NEEDED FOR LARGE OAKS.

SET THE TREE NO DEEPER THAN ITS ORIGINAL CONDITION

RECYCLED MULCH -3" DEPTH

SAUCER ALL AROUND FOR WATER RETENTION

BACKFILL WITH A MIXTURE OF 50% NATIVE SOIL AND 50% OF 50-50 TOPSOIL:SAND MIXTURE

WATER TO ELIMINATE AIR POCKETS WITH WATER HOSE APPLICATION OF FLOOD WATERING.

TRANSPLANTING HOLE TO BE AT LEAST 1/3 LARGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING

TREE TRANSPLANT DETAIL

N.T.S.

REF: "THE LANDSCAPE MANUAL" DADE CO. DEPT. OF PLANNING & ZONING, 2001

TREE NUM	SYM	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	DBH inches	STATUS	CANOPY	CANOPY LOSS	DBH LOSS	PALM LOSS	REMARKS
114	QV	LIVE OAK	Quercus virginiana	22	22	9	REMAIN	380				
115	QV	LIVE OAK	Quercus virginiana	24	22	16	REMAIN	380				
116	QV	LIVE OAK	Quercus virginiana	22	24	12	RELOCATE	452				IN SIGHT TRIANGLE
117	QV	LIVE OAK	Quercus virginiana	25	22	14	REMAIN	380				
147	QV	LIVE OAK	Quercus virginiana	10	10	4	REMAIN	79				
148	QV	LIVE OAK	Quercus virginiana	24	25	16	REMAIN	491				
149	QV	LIVE OAK	Quercus virginiana	20	20	7	REMAIN	314				
152	QV	LIVE OAK	Quercus virginiana	18	20	18	RELOCATE	314				IN SIGHT TRIANGLE
153	QV	LIVE OAK	Quercus virginiana	24	30	22	REMAIN	707				IN FRONT AT LIFT STATION
159	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
160	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
161	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
162	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
163	BB	BLACK OLIVE	Bucida buceras				REMAIN					OFF-SITE
164	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
165	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
166	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
167	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
168	QV	LIVE OAK	Quercus virginiana				REMAIN					OFF-SITE
169	SP	SABAL PALM	Sabal palmetto				REMAIN					OFF-SITE
		TOTALS						3,497				
		FIELD VERIFICATION DONE ON SEPTEMBER 9, 2016										

TREE DISPOSITION PLAN

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

Rodriguez Pereira Architects, Inc.
8000 NW 7th. Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM

OFFICE/WAREHOUSE FACILITY FOR:
BLDG 64 & 65
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES, FLORIDA
PHONE: (305) 821-1130

REVISIONS	BY
1. Per Town Staff Review comments on 11/08/16 (ES).	

JAMES F. SOCASH
RLA # 0001132

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

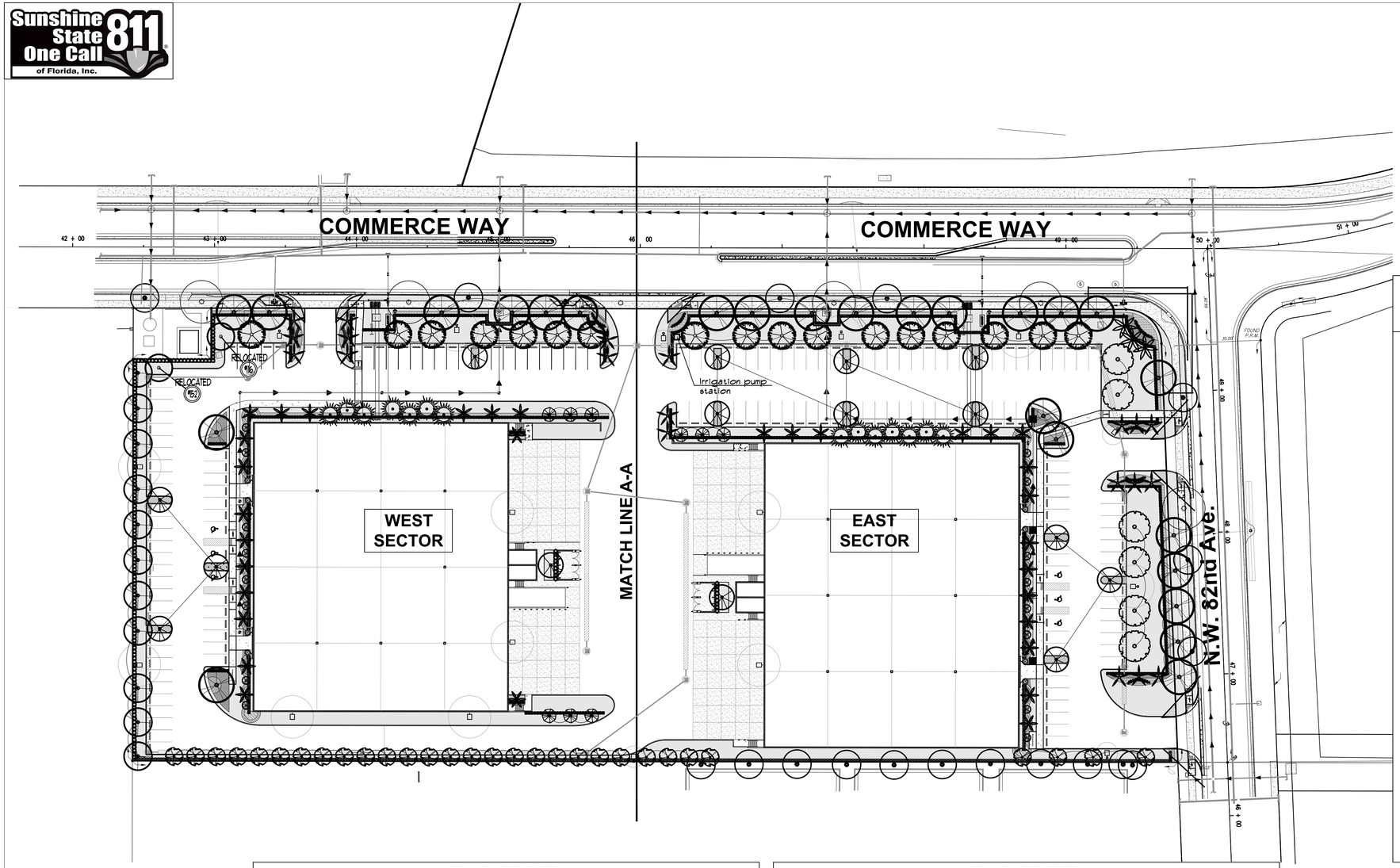
Date 09-17-16
Scale
Drawn
Job .

Sheet
TD-1
Of Sheets

16-101

Sunshine State One Call of Florida, Inc. 811

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignfl.com
1833 NE 149th TERRACE
PEMBROKE PINES, FL. 33028
TEL: (954) 447-1892
FAX: (954) 442-8228
jimmy@jfsdesignfl.com



LANDSCAPE LEGEND - TOWN OF MIAMI LAKES-ORD. 12-151-SITE DATA

ORDINANCE 12-151

ZONING DISTRICT: IU-C — NET LAND 5.30 ACRES 231,138 S.F.

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by TOWN OF MIAMI LAKES, Chapt. 13, as indicated on site plan: Net lot area= 231,138 s.f. x 20 %=	46,240	48,746
B. Square feet of parking lot open space required by Chapter 13" on site plan: 164 SURFACE SPACES x 10 SF/ SPACE	1,640	1,640
C. Total s.f. of open space required by Chapter 13: A + B =	47,880	50,386
LAWN AREA CALCULATION		
50,386 required by Chapter 13	47,880	50,386
B. Maximum lawn area (sod) permitted= required by Chapter 13, on site plan: 2 x 47,880 s.f.=	9,576	drought tolerant grasses shown on plan 9,576
TREES: 22 per Acre		
A. No. trees required per net lot acre space Less existing no. of trees meeting min. required	117	102 Prop. trees + 25 palms (50 palms / 2 = 25) not including st. trees and palms 127
B. % Palms Allowed: No. of trees provided 30 x 30% =	36	25+(50 palms/2) not including st. palms 25
C. % Natives Required: -	36	not including st. trees 93
D. Street Trees (maximum average spacing of 25' o.c.) linear feet along street /35= No. of trees provided x 30% =	30	SEE 'STREET TREE TABULATIONS' TABLE- BELOW 30
E. Street Trees located directly beneath power lines, Max. ave. spacing of 25' oc -	-	-
TOTAL NUMBER OF TREES REQUIRED	147	128 Lot trees + 30 street trees 157
SHRUBS:		
A. No. trees required x 10= No. of shrubs allowed	1,470	1,640
B. No. shrubs allowed x 30% = No of Native shrubs required	441	1,560 (95%)

PLANTLIST

SYM.	NATIVE	*	NAME	BOTANICAL NAME	SPECIFICATION
EXISTING TREES TO REMAIN- ON SITE					
			SEE TREE DISPOSITION PLAN, SHEET TD-1		
PROPOSED TREES					
BS	YES	6	GUMBO LIMBO	Bursera simaruba	12' x 6'spr., 2 1/2" cal.
CD	YES	12	PIGEON PLUM	Coccoloba diversifolia	12' x 6'spr., 2 1/2" cal.
CE	YES	11	GREEN BUTTONWOOD	Conocarpus erectus	12' x 6'spr., 2 1/2" cal.
IC	YES	30	DAHOON HOLLY	Ilex cassine	12' x 5'spr., 2" cal.
TL		9	TREE LIGUSTRUM	Ligustrum japonicum	FL., FANCY, 8' x 8' full crown
LL	YES	17	WILD TAMARIND	Lysiloma latisiliqua	12' x 6'spr., 2 1/2" cal.
PEL	YES	14	SLASH PINE	Pinus elliottii	FG., RFG, 12' o.a., 3" cal.
QV	YES	24	LIVE OAKS	Quercus virginiana	12' x 6'spr., 2 1/2" cal.
PALMS					
RE	YES	3	ROYAL PALMS	Roystonea elata	6' GW., 25' o.a. full head
VM2		32	MONTGOMERY PALMS	Veitchia montgomeryana	DBL. TK., FG., 12' o.a., full hd.
WB		20	FOXTAIL PALMS	Wodyetia bifurcata	12' o.a., 5' @ dbh, full hd
SHRUBS					
ACA		40	COPPER LEAF ACALYPHA	Acalypha sp.	3 gal., 24" x 24", 24"o.c., full
CAM	YES	20	BEAUTYBERRY	Callicarpa americana	3 gal., 18" x 18", 24"o.c., full
CCT	YES	110	JAMAICA CAPER	Capparis cynophallophora	7 gal., 30" x 24", 24" o.c. full
CIT	YES	717	COCOPLUM	Chysobalanus icaco	7 GAL., 30" x 24" full, 24" o.c.
CRT	YES	168	SMALL-LEAVED CLUSIA	Clusia guttifera	7 GAL., 36" ht., 30" O.C., FTB.
CRO		40	CROTON 'PETRA'	Codiaeum variegatum	3 gal., 18" x 18", 18" o.c., full
CEH	YES	370	GREEN BUTTONWOOD	Conocarpus erectus	3 gal., 24" x 24", 24" o.c., full
HPD	YES	175	DWARF FIREBUSH	Hamelia nodosa	3 gal., 18" x 18", 18" o.c.

PLANTLIST

SYM.	NATIVE	*	NAME	BOTANICAL NAME	SPECIFICATION
ACCENT PLANTS AND GROUNDCOVERS					
MEY		144	FOXTAIL FERN	Asparagus densi. "Myers"	3 gal., 14" x 12" full
BUD	YES	80	BUTTERFLY BUSH	Buddleiela officinalis	3 gal., 18" x 18", 18" o.c. full
BLB	YES	185	BULBINE-DESERT CANDLES	Bulbine frutescens	1 gal., 12" x 8", full, 12" o.c.
CAT		40	CAT PALMS	Chamadorea cataractarum	7 gal., 30" x 24", 30" o.c.
BL3		853	BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal., 12" x 18", 18" o.c., full
FG3		390	"GREEN ISLAND" FICUS	Ficus "Green Island"	3 gal., 18" x 18", 18" o.c., full
NEP	YES	335	BOSTON FERN	Nephrolepis exaltata	1 gal., 12" x 12" full, 15" o.c.
PEN		80	EGYPTIAN STAR CLUSTER	Pentas lanceolata	1 gal., 10" x 10", 14" o.c., full
RHA		8	LADY PALMS	Rhapis excelsa	5'o.a., FTG., sun acclimated
DCS		16	DESERT CASSIA	Senna polyphylla	6'-8' x 5'spr., 2 " cal.
SOD					
FLO		40,000 S.F.	"FLORATAM" ST. AUGUSTINE	Stenotaphrum secundatum	SOLID SOD, price per s.f.
TOPSOIL:			TOPSOIL:SAND MIX	50:50 TOPSOIL:SAND MIX, SPREAD IN PLACE	
		75 C.Y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS		
		200 C.Y.	AREA TO BE SODDED WITH A 2" DEPTH OF TOPSOIL SPREAD IN PLACE		
MULCHING:					
		120 C.Y.+/-	"MINI-NUGGETS" PINE BARK	3" DEPTH, SPREAD IN PLACE, ATLAS PEAT AND SOIL	
				PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION	
		---	TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR		
			TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS		
			UPON FINAL INSPECTION AND APPROVAL.		

STREET TREE TABULATIONS

	REQUIRED	PROVIDED
Commerce Way 719 L.F. , 1 TREE/ 35 L.F. = 21 TREES	21	21 4 EXIST. + 15 QV + 2=(4 WB palms/2)
N.W. 82nd Ave. 315 L.F. , 1 TREE/ 35 L.F. = 9 TREES	9	9 3 EXIST. + 6 QV
TOTALS	30	30

north

0' 10' 50'

SCALE: 1" = 40'

REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE CITY OF MIAMI LAKES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE TD-1, FOR TREE DISPOSITION PLAN, TREE INVENTORY, STATUS AND DISPOSITION.

SEE SECTOR LANDSCAPE PLANS, L-2, L-3, L-4 FOR PLANTING PLANS, PLANTLIST, DETAILS, SPECIFICATIONS, ETC.

SITE LANDSCAPE PLAN

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

Rodriguez Pereira Architects, Inc.
8000 NW 7th. Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM

OFFICE/WAREHOUSE FACILITY FOR:
BLDG 64 & 65
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET MIAMI LAKES, FLORIDA
PHONE: (305) 821-1130

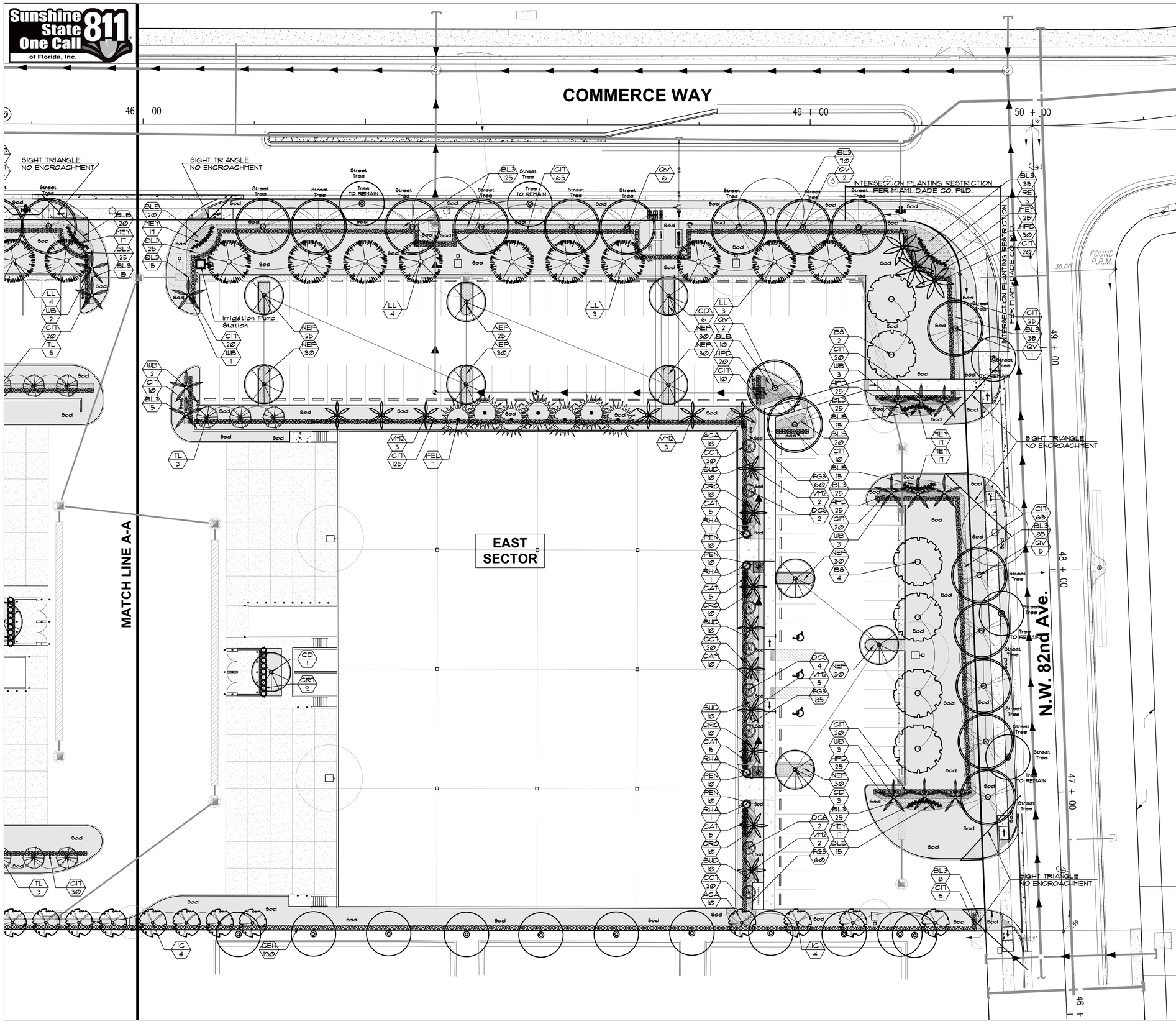
REVISIONS	BY
1. Per Town Staff Review comments on 11/28/16 (ESR).	

JAMES F. SOCASH
RLA # 0001132

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date 09-17-16
Scale
Drawn
Job .
Sheet **L-1**
Of Sheets

16-101



REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE CITY OF MIAMI LAKES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE TD-1, FOR TREE DISPOSITION PLAN, TREE INVENTORY, STATUS AND DISPOSITION.

SEE SECTOR LANDSCAPE PLANS, L-3, L-4 FOR PLANTING PLANS, PLANTLIST, DETAILS, SPECIFICATIONS, ETC.

EAST SECTOR LANDSCAPE PLAN

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignfl.com
1833 NE 149th TERRACE
PEMBROKE PINES, FL. 33028
TEL: (954) 447-1892
FAX: (954) 442-8025
jimmy@jfsdesignfl.com

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

Rodriguez Pereira Architects, Inc.
8000 NW 7th. Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM

OFFICE/WAREHOUSE FACILITY FOR:
BLDG 64 & 65
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET, MIAMI LAKES, FLORIDA
PHONE: (305) 821-1130

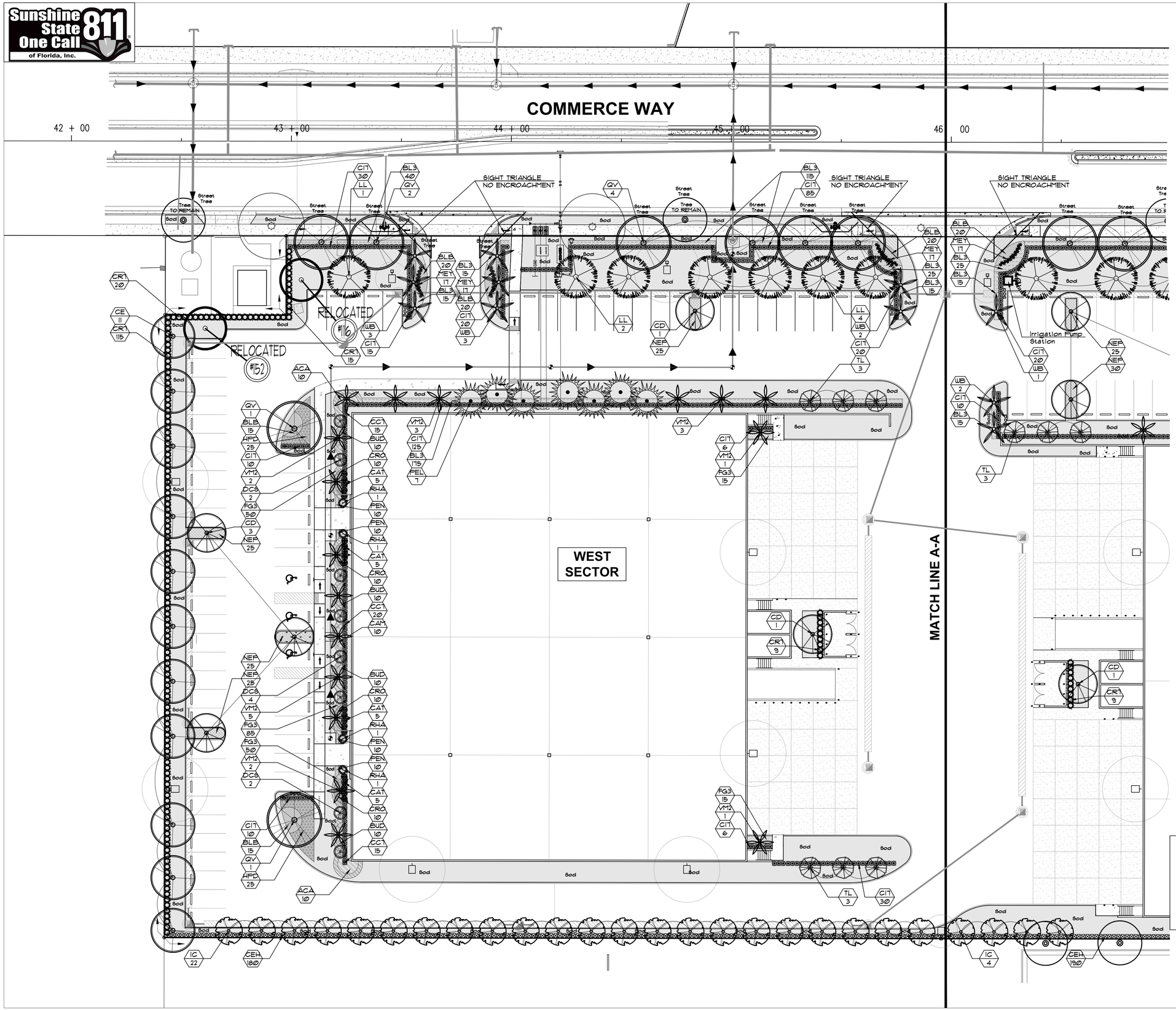
REVISIONS	BY
1. Per Town Staff Review comments on 11/08/16	(BS)

JAMES F. SOCASH
RLA # 0001132

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date	09-17-16
Scale	
Drawn	
Job	.
Sheet	L-2
Of	Sheets

16-101



REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE CITY OF MIAMI LAKES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE TD-1, FOR TREE DISPOSITION PLAN, TREE INVENTORY, STATUS AND DISPOSITION.

SEE SECTOR LANDSCAPE PLANS, L-2, L-4 FOR PLANTING PLANS, PLANTLIST, DETAILS, SPECIFICATIONS, ETC.

WEST SECTOR LANDSCAPE PLAN

Sunshine State One Call of Florida, Inc. 811

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignfl.com
1833 NE 149th TERRACE
NORTH MIAMI BEACH, FL. 33162
TEL: (954) 447-1892
FAX: (954) 442-8228
jimmy@jfsdesignfl.com

Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

Rodriguez Pereira Architects, Inc.
8000 NW 7th. Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM

OFFICE/WAREHOUSE FACILITY FOR:
BLDG 64 & 65
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET, MIAMI LAKES, FLORIDA
PHONE: (305) 821-1130

REVISIONS	BY
1. Per Town Staff Review comments on 11/28/16 (BS).	

JAMES F. SOCASH
RLA # 0001132

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date	09-17-16
Scale	
Drawn	
Job	.
Sheet	L-3
Of	Sheets

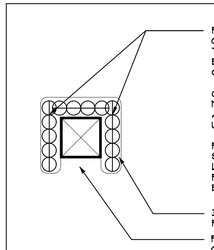
16-101

Sunshine State One Call of Florida, Inc. 811

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignfl.com
1833 NE 149th TERRACE
PEMBROKE PINES, FL. 33028
TEL: (954) 447-1892
FAX: (954) 442-8228
jimmy@jfsdesignfl.com

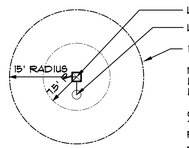
Architecture
Planning &
Urban Design
Space Planning
Interior Design
Corp. Lic. # AA-C001984

Rodriguez Pereira Architects, Inc.
8000 NW 7th Street - Suite 103 - Miami, Fl. 33126
Phone: (305) 592-8045 FAX: (305) 592-5756
WWW.RODRIGUEZPEREIRA.COM



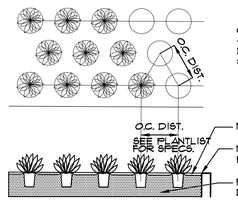
TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT

N.T.S.



MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES

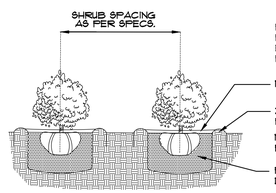
N.T.S.



GROUNDCOVERS TO BE STAGGERED AS SHOWN - SPACING BETWEEN ROWS TO BE AT A 60 DEGREE ANGLE OF THE O.C. DISTANCE AS SHOWN

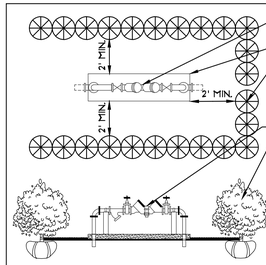
GROUNDCOVER DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES

N.T.S.

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.

2. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.

3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

4. ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.

SODDED-LAWN AREAS
2" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
GROUNDCOVER PLANTING BEDS:
6" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
SHRUB AND HEDGE PLANTING AREAS:
12" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
TREES, PALMS, SPECIMEN PLANT MATERIAL:
24" DEPTH PLANTING SOIL SPREAD IN PLACE OR, TO THE DEPTH OF THE ROOTBALL OR CONTAINER WHICHEVER IS GREATEST.
LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:
EXCAVATE AND REMOVE ALL LIMEROCK, ROCKS, DEBRIS, ETC. TO A DEPTH OF 12" AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX.
BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.

5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.

6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT.
OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.

7. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 "NO CUTS" AS REQUIRED BY LAW.

8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.

9. SOD SHALL BE ARGENTINE "BAHIA" OR ST. AUGUSTINE "FLORATAM" AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.

10. SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FDOT. SOD SHALL CARRY A 5-MONTH WARRANTY.

11. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

12. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA.). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.

13. THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

14. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP, AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

15. EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.

16. CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING-IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

17. ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS "TENAX" PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.

18. EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.

19. ALL EXISTING TREES AND PALMS SHALL BE "LIFTED AND THINNED" TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.

20. REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.

21. ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SWALES, ETC. SHALL BE WATERED-IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.

REMOVAL OF ANY AND ALL TREES AND PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE TOWN OF MIAMI LAKES.

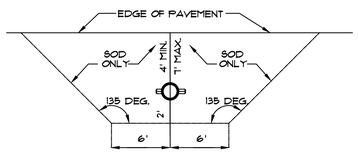
PLANTING SOIL:

NOTE: ALL LANDSCAPED AREAS INCLUDING LANDSCAPE ISLANDS, SHALL BE EXCAVATED TO A DEPTH OF 2.0 FEET FOR REMOVAL OF ALL COMPACTED MATERIAL, LIMEROCK, ETC. AND BACKFILLED WITH A CLEAN, APPROVED BACKFILL. 50:50 TOPSOIL SHALL BE APPLIED TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND A 2" DEPTH FOR ALL SOD AREAS. THE CONTRACTOR SHALL CALCULATE AND PROVIDE A UNIT AND AN EXTENDED PRICE FOR THIS ITEM.

FERTILIZATION:

ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC -AFEC FERTILIZER & CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC # 5231) RATE: 1.5 LBS./ INCH OF DIA. @ DBH PALMS: 12-04-12 (AFEC # 7216) RATE: 1.5 LBS./ INCH OF DIA. @ DBH SHRUBS AND GROUNDCOVERS: (12-06-08 AFEC # 5231) RATE: 1.5 OZ./ FT. OF HEIGHT



REQUIREMENTS APPLY TO FIRE HYDRANTS, SIAMESE CONNECTIONS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE, ON PUBLIC OR PRIVATE PROPERTY.

BY THE AUTHORITY OF THE SOUTH FLORIDA FIRE PREVENTION CODE SECTION 521.1.2

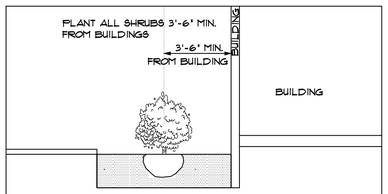
THIS DIAGRAM SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL.

THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOD), MAILBOXES, PARKING, LAMP-POSTS AND ALL OTHER OBJECTS.

EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT OR TRAFFIC POSTS TO PREVENT FIRE FIGHTING EQUIPMENT.

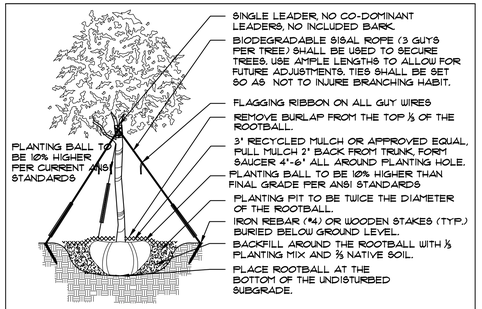
FIRE HYDRANT CLEAR ZONE

N.T.S.



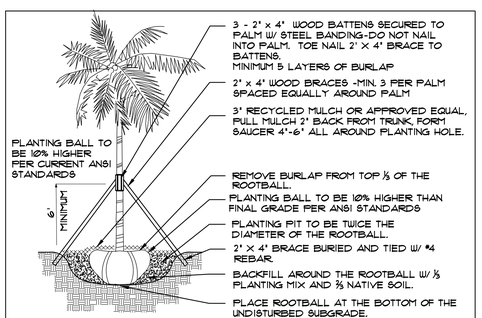
SHRUB PLANTINGS BUILDING DETAIL

N.T.S.



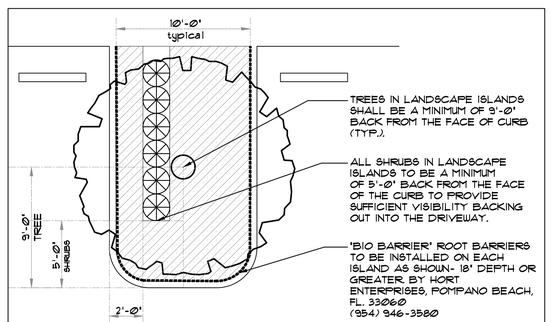
TREE PLANTING DETAIL

N.T.S.



PALM PLANTING DETAIL

N.T.S.



TYPICAL LANDSCAPE ISLAND PLANTING STANDARDS

N.T.S.

LANDSCAPE DETAILS, SPECIFICATIONS, ETC.

OFFICE/WAREHOUSE FACILITY FOR:
BLDG 64
THE GRAHAM COMPANIES
NW 82nd AVENUE & COMMERCE WAY
TOWN OF MIAMI LAKES, FLORIDA.
Owner: THE GRAHAM COMPANIES
6843 MAIN STREET, MIAMI LAKES, FLORIDA
PHONE: (305) 821-1130

REVISIONS	BY
1. Per Town Staff Review comments on 11/08/16	(BS).

JAMES F. SOCASH
RLA # 0001132

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX & ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date 09-17-16
Scale
Drawn
Job .
Sheet **L-4**
Of Sheets

16-101

BUILDING 64&65

TOWN OF MIAMI LAKES, FLORIDA SEC. 22, TWP. 52, RGE. 40

CIVIL PLANS

AUGUST, 2016

DRAWING INDEX		
	SHEET NUMBER	SHEET TITLE
		WATER AND SEWER
	C-1	COVER
	C-2	WATER AND SEWER OVERALL PLAN
	C-3	DOMESTIC, IRRIGATION AND FIRE PLAN
	C-4	DOMESTIC, IRRIGATION AND FIRE PLAN
	C-5	SANITARY LATERAL PLAN
	C-6	SANITARY LATERAL PLAN
	C-7	WATER AND SEWER DETAILS
		PAVING, GRADING AND DRAINAGE
*	C-8	PAVING, GRADING AND DRAINAGE OVERALL PLAN
*	C-9	PAVING, GRADING AND DRAINAGE PLAN
*	C-10	PAVING, GRADING AND DRAINAGE PLAN
*	C-11	PAVING, GRADING AND DRAINAGE PLAN
*	C-12	PAVING, GRADING AND DRAINAGE DETAILS
*	C-13	PAVING, GRADING AND DRAINAGE DETAILS
*	C-14	SITE SECTIONS
*	C-15	SITE SECTIONS
*	C-16	FIRE ACCESS PLAN
*	C-17	CONCRETE SLAB JOINT DETAILS
*	C-18	GEOMETRIC LAYOUT PLAN
	C-19	PAVEMENT MARKING AND SIGNAGE
		EROSION AND SEDIMENT CONTROL
*	ESC-1	EROSION AND SEDIMENT CONTROL PLAN
*	ESC-2	EROSION AND SEDIMENT CONTROL DETAILS
*	ESC-3	EROSION AND SEDIMENT CONTROL DETAILS

* NOT PART OF M-DWASD APPROVAL

LEGAL DESCRIPTION:

A PORTION OF TRACTS 5, 6 AND 24 IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 52 SOUTH, RANGE 40 EAST AS SHOWN ON THE PLAT OF "CHAMBERS LAND COMPANY SUBDIVISION," AS RECORDED IN PLAT BOOK 2 AT PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

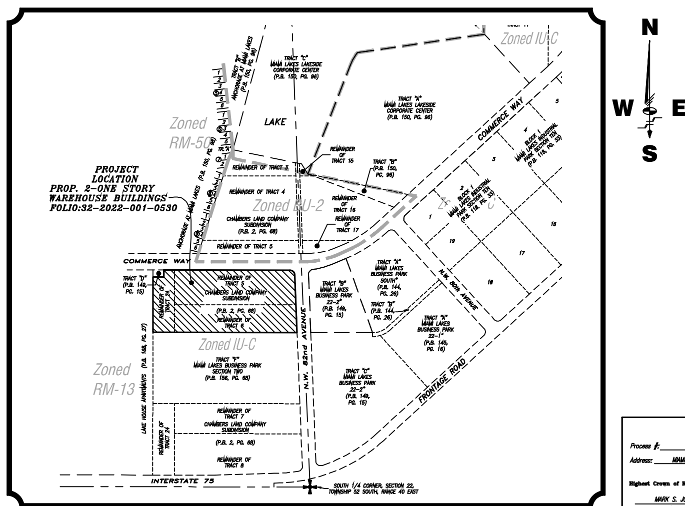
BEGIN AT THE NORTHEAST CORNER OF TRACT "F", "MIAMI LAKES BUSINESS PARK SECTION TWO", AS RECORDED IN PLAT BOOK 156 AT PAGE 68, IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTH 02 DEGREES 13 MINUTES 40 SECONDS WEST FOR 295.60 FEET TO A POINT OF CURVATURE; THENCE NORTHERLY AND NORTHWESTERLY ALONG A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 87 DEGREES 40 MINUTES 43 SECONDS FOR AN ARC DISTANCE OF 38.26 FEET TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 645.09 FEET; (SAID LAST THREE COURSES BEING ALONG THE WEST RIGHT-OF-WAY LINE FOR N. W. 82ND AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF COMMERCE WAY AS SHOWN ON THE PLAT OF "MIAMI LAKES BUSINESS PARK 22-2", AS RECORDED IN PLAT BOOK 149 AT PAGE 15, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA); THENCE SOUTH 0 DEGREES 05 MINUTES 37 SECONDS WEST FOR 36.00 FEET; THENCE NORTH 89 DEGREES 54 MINUTES 23 SECONDS WEST FOR 55.00 FEET; (SAID LAST TWO COURSES BEING ALONG THE EASTERLY AND SOUTHERLY LINES OF TRACT "D" OF THE SAID PLAT OF "MIAMI LAKES BUSINESS PARK 22-2); THENCE SOUTH 0 DEGREES 05 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF THE PLAT OF "LAKE HOUSE APARTMENTS", AS RECORDED IN PLAT BOOK 168 AT PAGE 27 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR 283.34 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 23 SECONDS EAST ALONG THE NORTH LINE OF THE AFORESAID TRACT "F", "MIAMI LAKES BUSINESS PARK SECTION TWO" FOR 737.04 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

MIAMI-DADE COUNTY, FLORIDA, TAX FOLIO NO.'S 32-2022-001-0530 AND 32-2022-001-0650

NOT PART OF M-DWASD NOTES NOR APPROVAL

FLOOD CRITERIA NOTES
(NOT A PART OF M-DWASD NOTES NOR APPROVAL)

1. MIAMI-DADE COUNTY FLOOD CRITERIA = 6.60' N.G.V.D.
2. FEMA FLOOD ELEVATION = FLOOD ZONE AE 6.0 PER COMMUNITY PANEL NO. 12086C0112L MAP DATED ON 9/11/2009.
3. MIAMI-DADE COUNTY OCT. W.T. =3.40' N.G.V.D.
4. ELEVATIONS RELATE TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. (N.G.V.D. 1929)
5. BENCHMARK A: NAME: N-626, MIAMI-DADE COUNTY P-K NAIL & BRASS DISC IN CONCRETE GUTTER ACROSS FROM F.P.L. SUBD=STATION AT THE INTERSECTION OF N.W. 138TH STREET (PALMETTO FRONTAGE ROAD) AND N.W. 80TH AVENUE. ELEVATION=7.27 N.G.V.D. 1929.
BENCHMARK B: NAME: N-632, MIAMI-DADE COUNTY P-K NAIL & BRASS WASHER IN CONCRETE SIDEWALK 12' EAST OF FIRE HYDRANT ON THE S.W. CORNER OF THE INTERSECTION OF N.W. 146TH STREET AND N.W. 77TH AVENUE. ELEVATION=7.28 N.G.V.D. 1929.



LOCATION SKETCH
1" = 300'

Flood Legend

Process #:	Folio: 32-2022-001-0530 / 32-2022-001-0650
PB N/A	PG N/A
Address: MIAMI LAKES, FL.	Highest Crown of Road Elev.: 8.13'
	Average Crown of Road Elev.: 7.09',7.31

Highest Crown of Road Elevation above was taken from a certified survey prepared by:

MARK S. JOHNSON (Surveyor's Name) PLS Lic # 4775

PAYING AND DRAINAGE PLANS MUST BE ATTACHED

DERM/WC - ENVIRONMENTAL RESOURCES PERMIT (ERP COPY ATTACHED) # PENDING
SFWMD - SURFACE STORMWATER PERMIT (SWM PERMIT COPY ATTACHED) # N/A

Total Impervious Area: 4.15 AC.

Underground Parking: YES / (NO) (circle one) Basement: YES / (NO) (circle one)

	Lowest Floor Elev.	Adjacent Grade Elev.	Lowest Catch Basin	Retention Area
PROPOSED	10.60'	X.XX'/X.XX'	6.60'	N/A
EXISTING	N/A	N/A	N/A	N/A

OTHER MINIMUM PROPOSED ELEVATIONS:
1. LOWEST PROP. ELEV. FOR EQUIPMENT SERVING BUILDING= 10.60'
2. LOWEST PROP. ELEV. ELEVATOR MACHINE ROOM= 9.15'

FEDERAL FLOOD HAZARD "AE" (EL. 6.0 FEET) PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 114 MAP DATED SEPTEMBER 11, 2009 WITH AN INDEX DATE OF SEPTEMBER 11, 2009 (MAP NO. 12086C0114L)

1. ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE WATER AND SEWER DEPARTMENT AND SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AVAILABLE AND ON FILE WITH THE DEPARTMENT. SUBMIT SHOP DRAWINGS FOR ALL MATERIALS.
2. COVER OVER WATER OR SEWER FORCE MAINS SHALL BE 4'-0" MIN.
3. ALL MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" RISER PIPES AND NO. 3 OR 53 VALVE BOXES FIRE HYDRANTS AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 6" RISER PIPES AND NO. 2 VALVE BOXES.
4. ALL FORCE MAIN SERVICE CONNECTIONS INTO PRESSURE TRANSMISSION MAINS SHALL HAVE A SHUT OFF VALVE AND CHECK VALVE AT THE POINT OF ENTRY.
5. ALL GRAVITY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
6. ALL WATER METERS WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER DEPARTMENT, PROVIDING THE APPROPRIATE CHARGES HAVE BEEN PREPAID.
7. FIRE HYDRANT REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY MIAMI-DADE COUNTY FIRE DEPARTMENT OR THE APPROPRIATE FIRE AGENCY WITH INSTALLATION IN ACCORDANCE WITH DEPARTMENT STANDARDS.
8. CONTRACTOR MUST CALL MDWASD INSPECTION DIVISION TO ARRANGE FOR A PRECONSTRUCTION MEETING 2 FULL BUSINESS DAYS PRIOR TO PROPOSED START OF CONSTRUCTION. CONTACT ONE CALL CENTER 48 HRS PRIOR TO EXCAVATION.
9. CONTRACT INSPECTOR WILL INSPECT ANY FACILITIES APPROVED BY THE DEPARTMENT. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS.
10. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEM BY THE DEPARTMENT AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED AND APPROVED BY THE DEPARTMENT:
    a. EASEMENTS, IF REQUIRED
    b. CONTRACTOR'S WAIVER AND RELEASE OF LIEN
    c. ABSOLUTE BILL OF SALE
    d. i. CONTRACTOR'S LETTER OF WARRANTY (I.E., LETTER AGREEMENT)
    ii DEVELOPER'S CONTRACT BOND (I.E., CONTRACT AGREEMENT)
    e. "RECORD DRAWING" PRINTS (24"x 36") SHOWING SPECIFIC LOCATIONS, DEPTH, ETC. OF ALL WATER AND SEWER FACILITIES AS LOCATED BY A LICENSED SURVEYOR & MAPPER, ALONG WITH PRINTS OF "RECORD DRAWINGS" WHICH HAVE BEEN SIGNED AND SEALED BY A REGISTERED SURVEYOR & MAPPER. (No. OF PRINTS: 3-FOR WATER, 4-FOR GRAVITY SEWER AND 5-FOR FORCE MAIN OR PUMP STATION PROJECTS). Submittal of final CAD Files required.
    f. H.R.S. LETTER OF RELEASE REQUIRED FOR ALL WATER PROJECTS
    g. BILL OF SALE SKETCH (8½"x 11") FOR WATER AND SEWER, SEPARATELY
11. ALL NEW CONNECTIONS FROM EXISTING DEPARTMENT MAINS TO BE MADE BY DEPARTMENT FORCES ONLY. THE CONTRACTOR TO EXCAVATE AT REQUIRED LOCATIONS, PROVIDE AND INSTALL MATERIAL WITH FITTINGS, PRIOR TO TAP.
12. AN APPROVED PAVING AND DRAINAGE PLAN MUST BE SUBMITTED TO MDWASD FOR ALL NEW SUBDIVISIONS PRIOR TO APPROVAL OF WATER AND SEWER PERMIT PLANS, UPON REQUEST.
13. UNLESS OTHERWISE SPECIFIED, ALL TAPS 20 INCHES AND SMALLER FOR CONNECTIONS TO EXISTING MAINS WILL BE DONE BY DEPARTMENT FORCES. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE PERMITTED TO TAP EXISTING MAINS IN THE SIZE RANGE SPECIFIED ABOVE. THE TAPPING SLEEVE AND TAPPING VALVE ARE FURNISHED AND INSTALLED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE INSPECTOR.

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT	ISSUE DATE	APPROVED BY	STANDARD DETAIL	ITEM	CROSS REF.	SPEC. REF.
	03/01/2010	V.F.C.	STANDARD REQUIREMENTS WATER AND SEWER CONSTRUCTION		GS 0.5	SHEET 1 OF 2
	07/20/2016	D.V.				

1. AT THE COMPLETION OF ANY WATER AND SEWER JOB EITHER DONATION OR CONTRACT, THE CONTRACTOR SHALL SUBMIT:
    a. RECORD DRAWING PRINTS WHICH HAVE BEEN SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER (QTY. OF PRINTS AS REQUIRED BY THE DEPARTMENT).
2. "RECORD DRAWING" FORMAT:
    a. 24"x 36" PRINTS
    b. PDF FILE
    c. CADD FILE (DWG OR DXF) ROTATED AND TRANSLATED TO STATE PLANE COORDINATES NAD 83 FLORIDA EAST ZONE
    d. THE WORDS "RECORD DRAWING" IN LARGE LETTERS
    e. TITLE BLOCK WITH DEPARTMENT DS, DW OR ER NUMBER AND PERTINENT INFORMATION
    f. PREFERRED SCALE TO BE 1"= 40' HORIZONTALLY AND 1"= 4' VERTICALLY*
    g. STREET NOMENCLATURE
    h. SEPARATE RECORD DRAWINGS FOR WATER AND SEWER
    i. SEPARATE WATER AND SEWER PROFILE
    j. STATIONING STARTING WITH 0+00 AT PERMANENT REFERENCE POINT (I.E. ℄, ℄, ETC.) OR AS SHOWN ON DESIGN PERMIT PLANS, AND TO RUN CONTINUOUSLY TO END OF MAIN
    k. EASEMENTS, IF ANY, TIED TO PERMANENT REFERENCE POINT
    l. IDENTIFY ALL CONTROL LINES (I.E. BLDG. LINE, PROPERTY LINE, R/W, ETC.)
    m. ALL "PROPOSED" INFORMATION TO BE REMOVED FROM PRINTS, LEAVING ONLY RECORD DRAWING INFORMATION REFLECTED IN DRAWINGS
3. WATER "RECORD DRAWINGS" MUST INCLUDE:
    a. PLANS SHOWING PIPE SIZE, MATERIAL AND OFFSET OF MAIN, DEFLECTIONS (IF ANY), STATION OF SERVICES, HYDRANTS, VALVES, FITTINGS, IF ANY, ALL IN STATE PLANE COORDINATES. UTILITY CROSSINGS SHALL BE CLEARLY IDENTIFIED AND LOCATED.
    b. PROFILE SHOWING TOP OF GROUND AND TOP OF PIPE ELEVATIONS AT EVERY 100' STATION AND AT ANY CHANGE IN GRADE (WITH CORRESPONDING STATION), PIPE SIZE AND PIPE MATERIALS REFERENCED TO PLAN.
4. SEWER "RECORD DRAWINGS" MUST INCLUDE:
    a. PLAN SHOWING MANHOLE NUMBER, PIPE SIZE AND PIPE MATERIAL OF PIPE, DEFLECTION, SLOPE OF GRAVITY SEWER, LOCATION OF LATERALS WITH REFERENCE TO MANHOLE AND CLEANOUTS.
    b. THE NORTHERLY AND EASTERLY COORDINATES ON ALL FIELD OBTAINED MEASUREMENTS AND PROVIDED ON ALL RECORD DRAWING SUBMITTALS
    c. PROFILE SHOWING MANHOLE NUMBER (AS PER PLAN), RIM AND INVERT ELEVATIONS (IF MORE THAN ONE INVERT, LABEL NORTH, SOUTH, ETC.), AND STATION STARTING AT 0+00 AT DOWNSTREAM MANHOLE.
5. FORCE MAIN "RECORD DRAWING" SAME AS WATER MAIN.
6. EACH RECORD DRAWING SHALL SHOW THE FLORIDA STATE PLANE COORDINATES (CURRENT READJUSTMENT) OF ALL THE MANHOLES AND VALVES AND OF AT LEAST TWO HORIZONTAL CONTROL POINTS PROPERLY IDENTIFIED AND LOCATED WITHIN THE PROJECT.

* OTHER SCALE MAY BE PERMITTED, BUT MUST BE APPROVED BY THE DEPARTMENT PRIOR TO PREPARATION OF DRAWINGS.

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT	ISSUE DATE	APPROVED BY	STANDARD DETAIL	ITEM	CROSS REF.	SPEC. REF.
	03/11/2009	V.F.C.	"RECORD DRAWING" REQUIREMENTS		GS 0.5	SHEET 2 OF 2
	07/20/2016	D.V.				

p r e p a r e d b y

SCHWEBKE-SHISKIN & ASSOCIATES, INC.

3240 CORPORATE WAY, MIRAMAR, FL. 33025

LAND PLANNERS - ENGINEERS - LAND SURVEYORS (LB & CA#87)

TEL: (305)652-7010 FAX: (305)652-8284

JOHN C. TELLO LICENSE No. 71567 STATE OF FLORIDA PROFESSIONAL ENGINEER

THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 08/20/2016 BY JOHN C. TELLO, P.E. USING A DIGITAL SIGNATURE

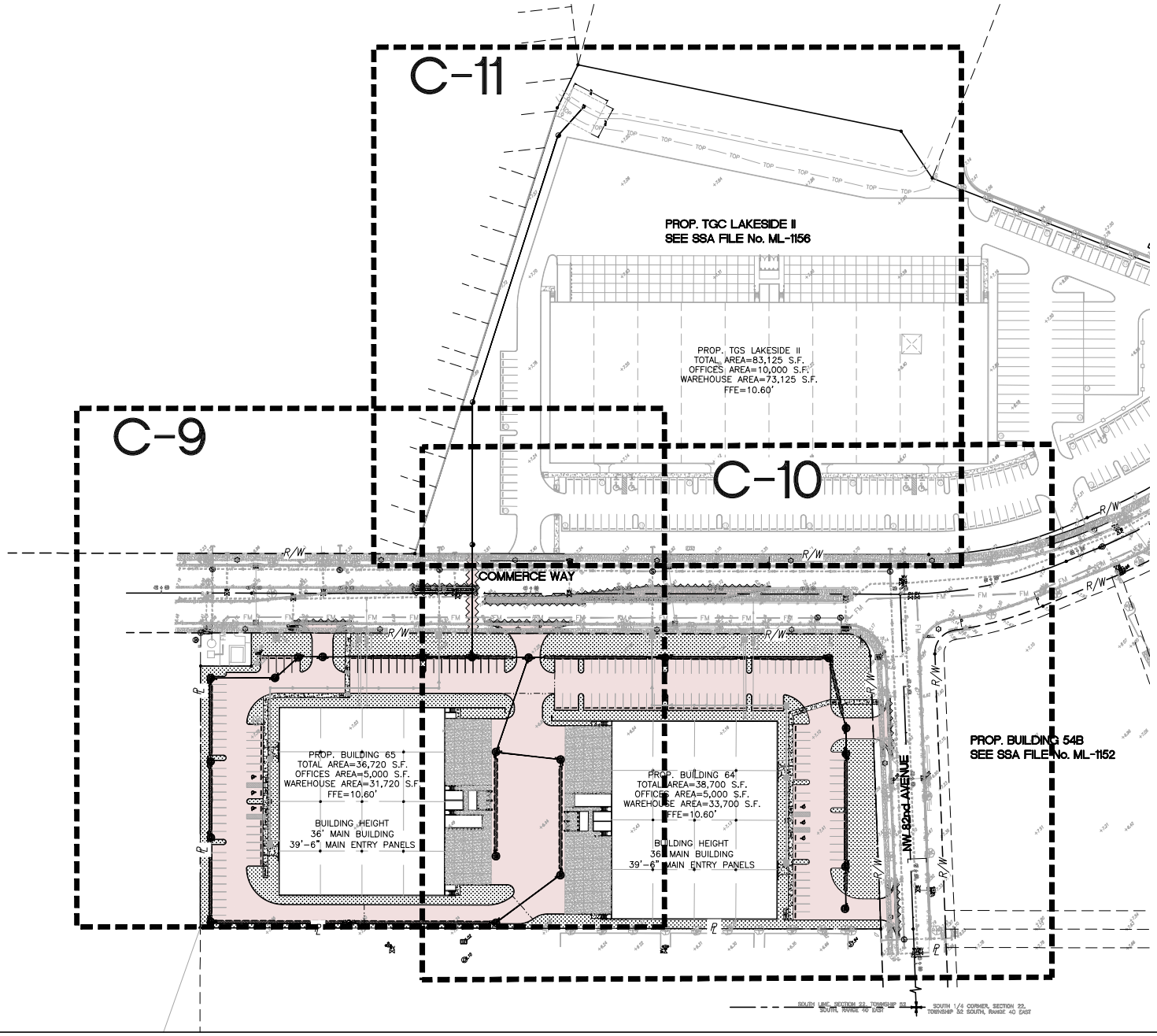
PRINTED COPIES OF THESE SHEET ARE NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE

Always call 811 two full business days before you dig
Sunshine811.com

FILE No. ML-1153

C-1

K:\225240\BUILDING 64 & 65\P&D\DWG\COVER.dwg, 11/16/2016 12:15:45 PM, _AutoCAD PDF (General Documentation).pc3



EXISTING FEATURES LEGEND:

- DENOTES EXISTING FIRE HYDRANT
- DENOTES EXISTING ELEVATIONS
- DENOTES WATER VALVE
- DENOTES WOOD LIGHT POLE
- DENOTES WOOD POWER POLE
- DENOTES PROPERTY LINE
- R/W DENOTES RIGHT OF WAY LINE
- DENOTES RIGHT OF WAY LINE
- DENOTES SANITARY SEWER CLEANOUT
- DENOTES SANITARY SEWER MANHOLE
- DENOTES FORCE MAIN MANHOLE
- DENOTES FORCE MAIN VALVE
- DENOTES F.P.L ELECTRIC MANHOLE
- DENOTES F.P.L. TRANSFORMER PAD
- DENOTES CATCH BASIN
- DENOTES EXISTING TREE
- DENOTES EXISTING PAVING
- DENOTES IRRIGATION VALVE
- GP DENOTES GUARD POST
- DENOTES STORM SEWER MANHOLE
- DENOTES SIGN POST
- DENOTES ALUMINUM POST

PROPOSED FEATURES LEGEND:

- 6.30' DENOTES PROPOSED ELEVATION
- DENOTES PROPOSED FRENCH DRAIN W/INLET
- +3.0' DENOTES PROPOSED INVERT W/ BAFFLE
- 3.0' DENOTES PROPOSED INVERT ELEVATION
- DENOTES PROPOSED SLOPE TIPS
- DENOTES FLOW DIRECTION
- DENOTES PROPOSED RIDGE LINE
- DENOTES RAMP UP DIRECTION
- DENOTES PROPOSED SIGN
- DENOTES PROPOSED WHEEL STOP
- DENOTES PROPOSED CENTERLINE
- MEG. DENOTES MATCH EXISTING GRADE
- DENOTES PROPOSED DRAINAGE MANHOLE
- DENOTES PROPOSED SAWCUT LINE
- DENOTES PROPOSED CONCRETE (SIDEWALK, CURB OR MEDIAN)
- DENOTES PROPOSED PAVING AREA
- DENOTES MILL 1" OF EXISTING ASPHALT & OVERLAY WITH 1" TYPE S-3 ASPHALT
- DENOTES CROSS-SECTION NAME
- A C-10 DENOTES PROPOSED CROSS-SECTION
- DENOTES SHEET NUMBER

Schwebke Shiskin & Associates, Inc.

LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LB#87 CA#87

3240 CORPORATE WAY
MIRAMAR, FL 33025
TEL: (305)652-7010
FAX: (305)652-8284

REVISIONS

Date	Remarks	By

JOHN C. TELLO
LICENSE No. 71567
STATE OF FLORIDA
PROFESSIONAL ENGINEER

THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 08/20/2016 BY JOHN C. TELLO, P.E. USING A DIGITAL SIGNATURE

PRINTED COPIES OF THESE SHEET ARE NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE

BUILDING 64&65

PAVING, GRADING AND DRAINAGE
OVERALL PLAN

TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: EMM Date: 08/08/16
Checked By: JCT Date: 08/19/16
Order No. 205719 FB: Sketches & 00000 Pg.00
Drawing Status: PERMIT SET

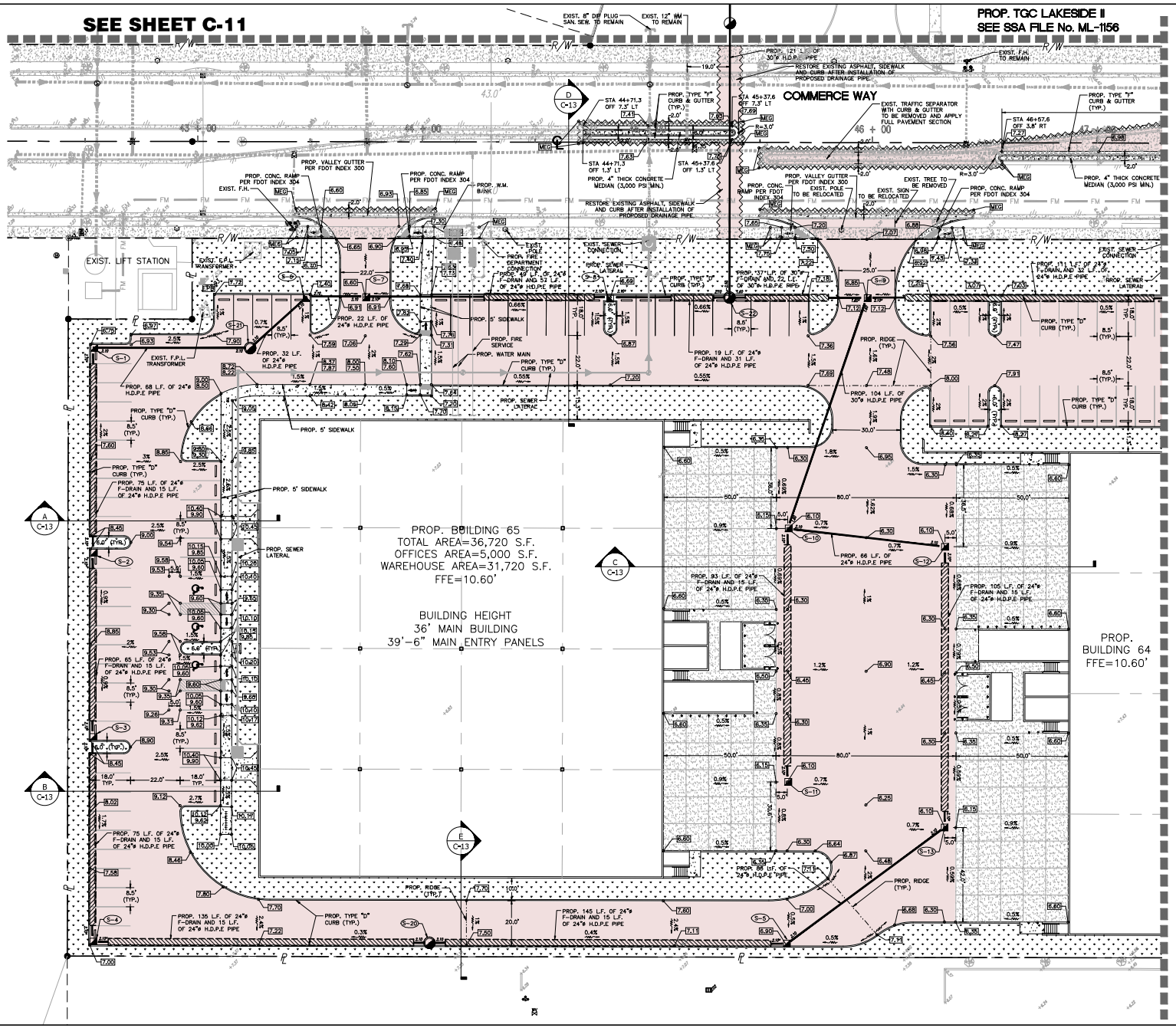
By:
JOHN C. TELLO
ASST. VICE-PRESIDENT
Registered Engineer No. 71567
State of Florida

Scale: As Noted

File No. ML-1153

Dwg. No:
C-8
OF: C-22

K:\2252400\BUILDING 64 & 65\P&D\DWG\PD.dwg, 11/16/2016 12:17:46 PM, AutoCAD PDF (General Documentation).pc3



N
W E
S
0 20' 40'
SCALE: 1" = 20'

EXISTING FEATURES LEGEND:

- DENOTES EXISTING FIRE HYDRANT
- DENOTES EXISTING ELEVATIONS
- DENOTES WATER VALVE
- DENOTES WOOD LIGHT POLE
- DENOTES WOOD POWER POLE
- DENOTES PROPERTY LINE
- R/W DENOTES RIGHT OF WAY LINE
- DENOTES RIGHT OF WAY LINE
- DENOTES SANITARY SEWER CLEANOUT
- DENOTES SANITARY SEWER MANHOLE
- DENOTES FORCE MAIN MANHOLE
- DENOTES FORCE MAIN VALVE
- DENOTES F.P.L. ELECTRIC MANHOLE
- DENOTES F.P.L. TRANSFORMER PAD
- DENOTES CATCH BASIN
- DENOTES EXISTING TREE
- DENOTES EXISTING PAVING
- DENOTES IRRIGATION VALVE
- GP DENOTES GUARD POST
- DENOTES STORM SEWER MANHOLE
- DENOTES SIGN POST
- DENOTES ALUMINUM POST

PROPOSED FEATURES LEGEND:

- 6.30' DENOTES PROPOSED ELEVATION
- DENOTES PROPOSED FRENCH DRAIN W/INLET
- +3.0' DENOTES PROPOSED INVERT W/ BAFFLE
- 3.0' DENOTES PROPOSED INVERT ELEVATION
- DENOTES PROPOSED SLOPE TIPS
- DENOTES FLOW DIRECTION
- DENOTES PROPOSED RIDGE LINE
- DENOTES RAMP UP DIRECTION
- DENOTES PROPOSED SIGN
- DENOTES PROPOSED WHEEL STOP
- DENOTES PROPOSED CENTERLINE
- MEG. DENOTES MATCH EXISTING GRADE
- DENOTES PROPOSED DRAINAGE MANHOLE
- DENOTES PROPOSED SAWCUT LINE
- DENOTES PROPOSED CONCRETE (SIDEWALK, CURB OR MEDIAN)
- DENOTES PROPOSED PAVING AREA
- DENOTES MILL 1" OF EXISTING ASPHALT & OVERLAY WITH 1" TYPE S-3 ASPHALT
- DENOTES CROSS-SECTION NAME
- A C-10 DENOTES PROPOSED CROSS-SECTION
- DENOTES SHEET NUMBER

Schwebke Shiskin & Associates, Inc.

LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LB#87 CA#87

3240 CORPORATE WAY
MIRAMAR, FL 33025
TEL: (305)652-7010
FAX: (305)652-8284

REVISIONS

Date	Remarks	By

JOHN C. TELLO
LICENSE No. 71567
STATE OF FLORIDA
PROFESSIONAL ENGINEER

THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 08/20/2016 BY JOHN C. TELLO, P.E. USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THESE SHEET ARE NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE

BUILDING 64&65

PAVING, GRADING AND DRAINAGE PLAN

TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: EMM Date: 08/08/16
Checked By: JCT Date: 08/19/16
Order No. 205719 FB: Sketches & 60000 Pg.00
Drawing Status: PERMIT SET

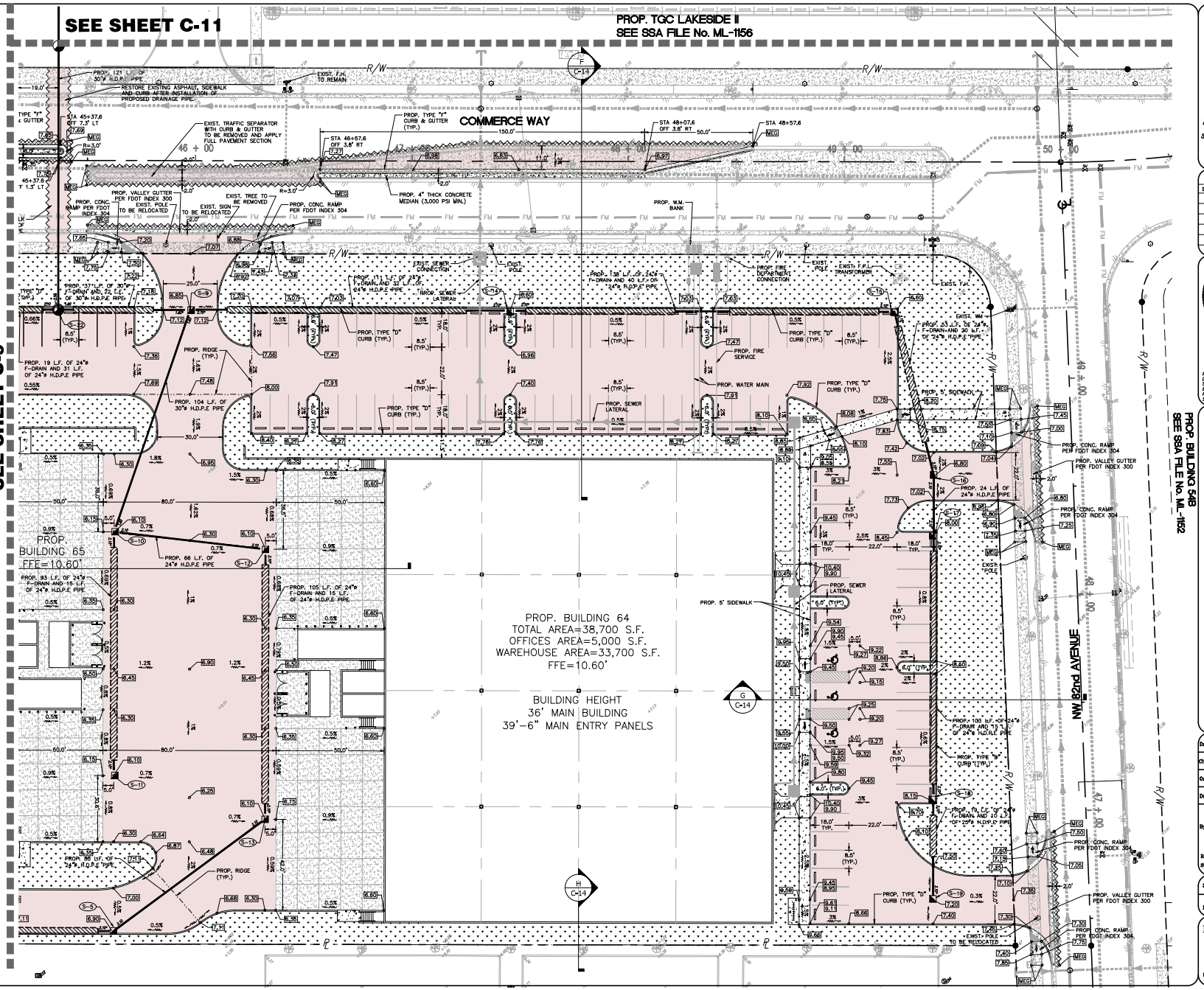
By: _____
JOHN C. TELLO
ASST. VICE-PRESIDENT
Registered Engineer No. 71567
State of Florida

Scale: As Noted

File No. ML-1153

Dwg. No:
C-9
OF: C-22

K:\2252400\BUILDING 64 & 65\PSD\DWG\PD.dwg, 11/16/2016 12:17:50 PM, AutoCAD PDF (General Documentation).pc3



N
W E
S
0 20' 40'
SCALE: 1" = 20'

EXISTING FEATURES LEGEND:

- DENOTES EXISTING FIRE HYDRANT
- DENOTES EXISTING ELEVATIONS
- DENOTES WATER VALVE
- DENOTES WOOD LIGHT POLE
- DENOTES WOOD POWER POLE
- DENOTES PROPERTY LINE
- R/W DENOTES RIGHT OF WAY LINE
- ℄ DENOTES RIGHT OF WAY LINE
- DENOTES SANITARY SEWER CLEANOUT
- DENOTES SANITARY SEWER MANHOLE
- DENOTES FORCE MAIN MANHOLE
- DENOTES FORCE MAIN VALVE
- DENOTES F.P.L. ELECTRIC MANHOLE
- DENOTES F.P.L. TRANSFORMER PAD
- DENOTES CATCH BASIN
- DENOTES EXISTING TREE
- DENOTES EXISTING PAVING
- DENOTES IRRIGATION VALVE
- GP DENOTES GUARD POST
- DENOTES STORM SEWER MANHOLE
- DENOTES SIGN POST
- DENOTES ALUMINUM POST

PROPOSED FEATURES LEGEND:

- 6.30' DENOTES PROPOSED ELEVATION
- DENOTES PROPOSED FRENCH DRAIN W/INLET
- +3.0' DENOTES PROPOSED INVERT W/ BAFFLE
- 3.0' DENOTES PROPOSED INVERT ELEVATION
- DENOTES PROPOSED SLOPE TIPS
- DENOTES FLOW DIRECTION
- DENOTES PROPOSED RIDGE LINE
- DENOTES RAMP UP DIRECTION
- DENOTES PROPOSED SIGN
- DENOTES PROPOSED WHEEL STOP
- DENOTES PROPOSED CENTERLINE
- MEG. DENOTES MATCH EXISTING GRADE
- DENOTES PROPOSED DRAINAGE MANHOLE
- DENOTES PROPOSED SAWCUT LINE
- DENOTES PROPOSED CONCRETE (SIDEWALK, CURB OR MEDIAN)
- DENOTES PROPOSED PAVING AREA
- DENOTES MILL 1" OF EXISTING ASPHALT & OVERLAY WITH 1" TYPE S-3 ASPHALT
- DENOTES CROSS-SECTION NAME
- F C-10 DENOTES PROPOSED CROSS-SECTION
- DENOTES SHEET NUMBER

Schwebke Shiskin & Associates, Inc.

LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LB#87 CA#87

3240 CORPORATE WAY
MIRAMAR, FL 33025
TEL: (305)652-7010
FAX: (305)652-8284

REVISIONS

Date	Remarks	By

JOHN C. TELLO
LICENSE No. 71567
STATE OF FLORIDA
PROFESSIONAL ENGINEER

THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 08/20/2016 BY JOHN C. TELLO, P.E. USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THESE SHEET ARE NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE

BUILDING 64 & 65

PAVING, GRADING AND DRAINAGE PLAN

TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: EMM Date: 08/08/16
Checked By: JCT Date: 08/19/16
Order No. 205719 FB: Sketches & 00000 Pg.00
Drawing Status: PERMIT SET

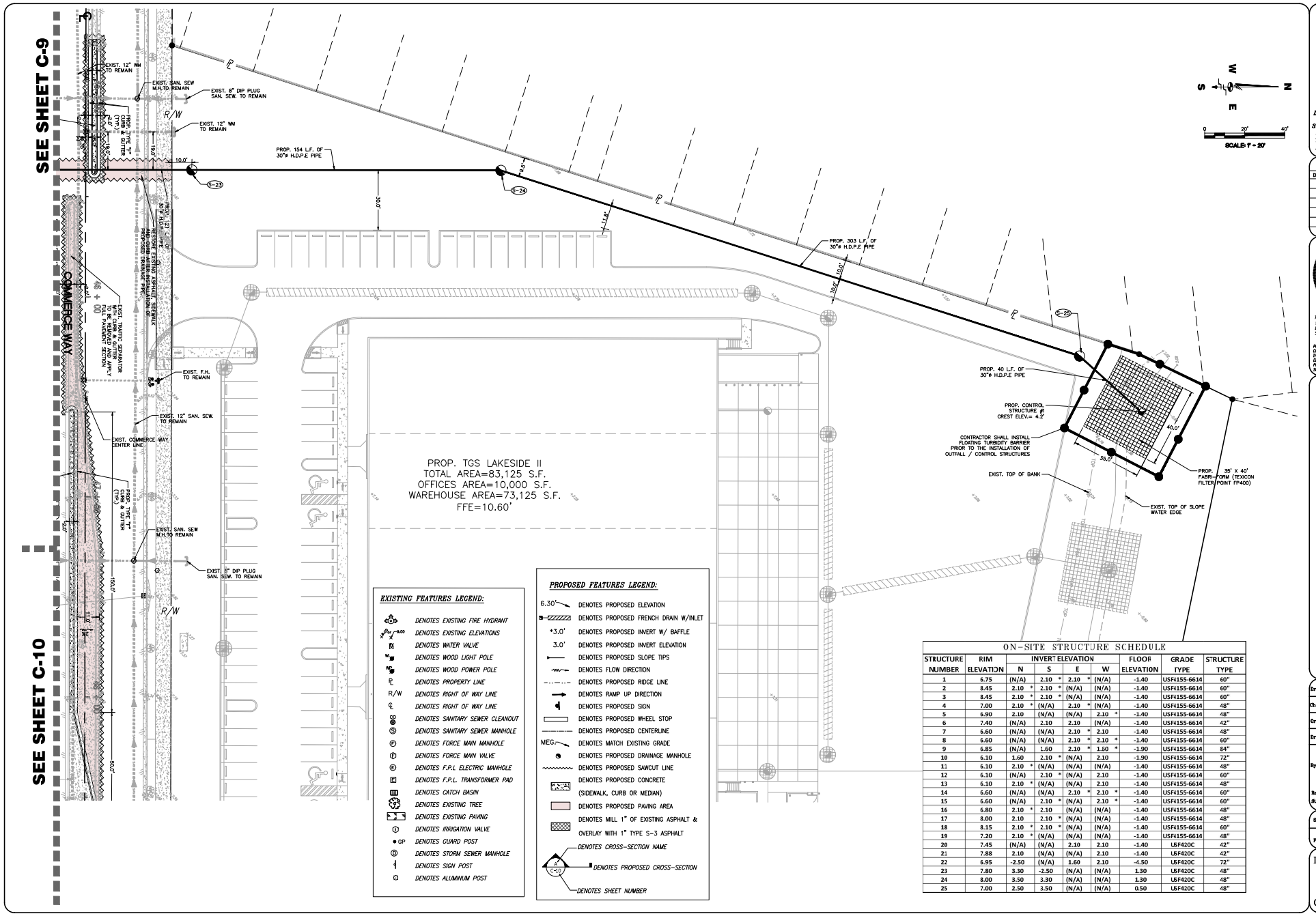
By:
JOHN C. TELLO
ASST. VICE-PRESIDENT
Registered Engineer No. 71567
State of Florida

Scale: As Noted

File No. ML-1153

Dwg. No:
C-10
OF: C-22

K:\225240\BUILDING 64 & 65\PAD\DWG\PD.dwg, 11/16/2016 12:17:55 PM, AutoCAD PDF (General Documentation).pc3



ON-SITE STRUCTURE SCHEDULE

STRUCTURE NUMBER	RIM ELEVATION	INVERT ELEVATION N	INVERT ELEVATION S	INVERT ELEVATION E	INVERT ELEVATION W	FLOOR ELEVATION	GRADE TYPE	STRUCTURE TYPE
1	6.75	(N/A)	2.10 *	2.10 *	(N/A)	-1.40	USF4155-6614	60"
2	8.45	2.10 *	2.10 *	(N/A)	(N/A)	-1.40	USF4155-6614	60"
3	8.45	2.10 *	2.10 *	(N/A)	(N/A)	-1.40	USF4155-6614	60"
4	7.00	2.10 *	(N/A)	2.10 *	(N/A)	-1.40	USF4155-6614	48"
5	6.90	2.10	(N/A)	(N/A)	2.10 *	-1.40	USF4155-6614	48"
6	7.40	(N/A)	2.10	2.10	(N/A)	-1.40	USF4155-6614	42"
7	6.60	(N/A)	(N/A)	2.10 *	2.10	-1.40	USF4155-6614	48"
8	6.60	(N/A)	(N/A)	2.10 *	2.10 *	-1.40	USF4155-6614	60"
9	6.85	(N/A)	1.60	2.10 *	1.50 *	-1.90	USF4155-6614	84"
10	6.10	1.60	2.10 *	(N/A)	2.10	-1.90	USF4155-6614	72"
11	6.10	2.10 *	(N/A)	(N/A)	(N/A)	-1.40	USF4155-6614	48"
12	6.10	(N/A)	2.10 *	(N/A)	2.10	-1.40	USF4155-6614	60"
13	6.10	2.10 *	(N/A)	(N/A)	2.10	-1.40	USF4155-6614	48"
14	6.60	(N/A)	(N/A)	2.10 *	2.10 *	-1.40	USF4155-6614	60"
15	6.60	(N/A)	2.10 *	(N/A)	2.10 *	-1.40	USF4155-6614	60"
16	6.80	2.10 *	2.10	(N/A)	(N/A)	-1.40	USF4155-6614	48"
17	8.00	2.10	2.10 *	(N/A)	(N/A)	-1.40	USF4155-6614	48"
18	8.15	2.10 *	2.10 *	(N/A)	(N/A)	-1.40	USF4155-6614	60"
19	7.20	2.10 *	(N/A)	(N/A)	(N/A)	-1.40	USF4155-6614	48"
20	7.45	(N/A)	(N/A)	2.10	2.10	-1.40	USF420C	42"
21	7.88	2.10	(N/A)	(N/A)	2.10	-1.40	USF420C	42"
22	6.95	-2.50	(N/A)	1.60	2.10	-4.50	USF420C	72"
23	7.80	3.30	-2.50	(N/A)	(N/A)	1.30	USF420C	48"
24	8.00	3.50	3.30	(N/A)	(N/A)	1.30	USF420C	48"
25	7.00	2.50	3.50	(N/A)	(N/A)	0.50	USF420C	48"

Schwebke Shiskin & Associates, Inc.
LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LB#87 CA#87
3240 CORPORATE WAY
MIRAMAR, FL 33025
TEL: (305)652-7010
FAX: (305)652-8284

REVISIONS

Date	Remarks	By

JOHN C. TELLO LICENSE No. 71567 STATE OF FLORIDA PROFESSIONAL ENGINEER

THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 08/20/2016 BY JOHN C. TELLO, P.E. USING A DIGITAL SIGNATURE

PRINTED COPIES OF THESE SHEET ARE NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE

BUILDING 64&65

PAVING, GRADING AND DRAINAGE PLAN

TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: EMM Date: 08/08/16
Checked By: JCT Date: 08/19/16
Order No. 205719 FB: Sketches & 60000 Pg.00
Drawing Status: PERMIT SET

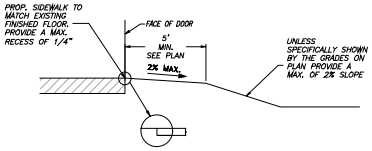
By: JOHN C. TELLO
ASST. VICE-PRESIDENT
Registered Engineer No. 71567
State of Florida

Scale: As Noted

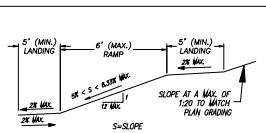
File No. ML-1153

Dwg. No: C-11
OF: C-22

K:\225240\BUILDING 64 & 65\PSD\DWG\PD.dwg, 11/16/2016 12:18:00 PM, AutoCAD PDF (General Documentation).pc3

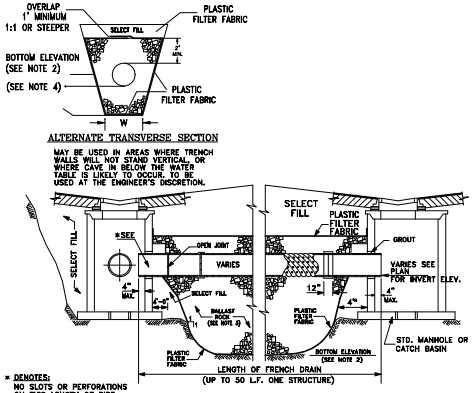


GRADING AT BUILDING EXITS/ENTRANCES

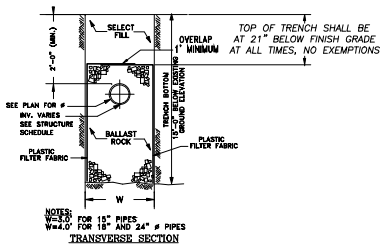


TYPICAL CURB RAMP PROFILE

NOTE: RAMP RUN SLOPES EXCEEDING 6% SHALL BE 6' OR LESS, NO EXCEPTIONS

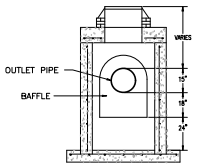


EXFILTRATION TRENCH



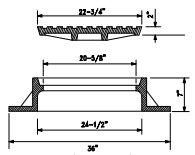
NOTES:

1. PLASTIC FILTER FABRIC (AT EACH SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS, AND/OR AS DIRECTED BY THE ENGINEER.
2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
4. INVERT ELEVATION TO BE AS SHOWN IN THE STRUCTURE TABLE AVERAGE OCTOBER GROUND WATER ELEV.= 3.50
5. FILTER FABRIC SHALL BE MIRAFI FW404 OR EQUAL.



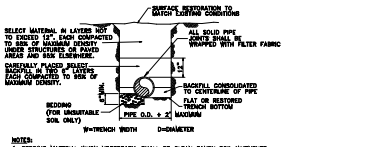
BAFFLE INSTALLATION DETAIL

N.T.S.



USF# 420 C

MANHOLE FRAME & LID

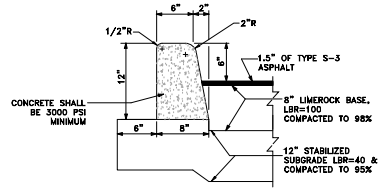


NOTES:

1. BEDDING MATERIAL WHEN NECESSARY, SHALL BE CLEAN SANDY SOIL WHENEVER AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED 3/4" MAX. SIZED CRUSHED LIMEROCK. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID.
2. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
3. IF #57 STONE IS USED, CONTRACTOR SHALL PROVIDE FILTER FABRIC OVER THE #57 STONE TO AVOID SOIL MIGRATION.

TRENCH DETAIL

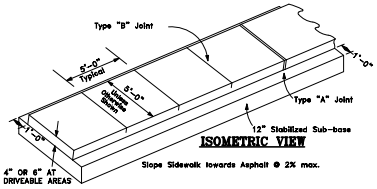
N.T.S.



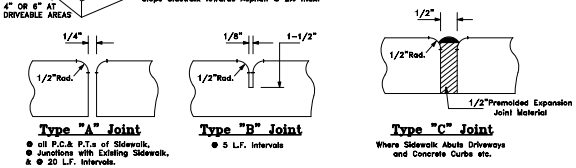
TYPE 'D' CURB

N.T.S.

NOTE: SAWCUTS REQUIRED AT 10' O.C. WITHIN 48 HOURS OF POUR



ISOMETRIC VIEW

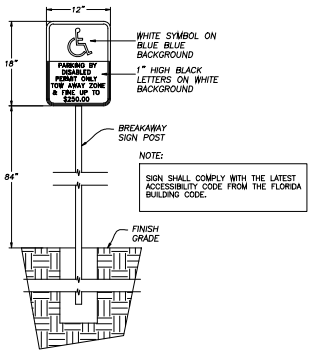


Type "A" Joint
@ all P.C.& P.T.s of Sidewalk.
@ Junctions with Existing Sidewalk,
& @ 20 L.F. Intervals.

Type "B" Joint
@ 5 L.F. Intervals

Type "C" Joint
Where Sidewalk Abuts Driveways and Concrete Curbs etc.

SIDEWALK DETAILS



NOTE:

SIGN SHALL COMPLY WITH THE LATEST ACCESSIBILITY CODE FROM THE FLORIDA BUILDING CODE.

ACCESSIBLE PARKING SIGN

SEE DADE COUNTY PUBLIC WORKS CRITERIA FOR ADDITIONAL SIGN SPECIFICATIONS

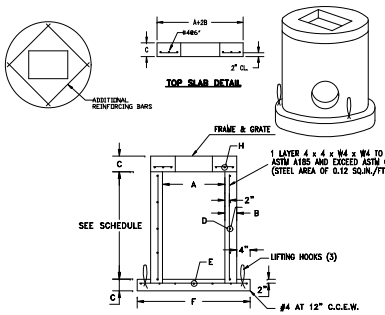
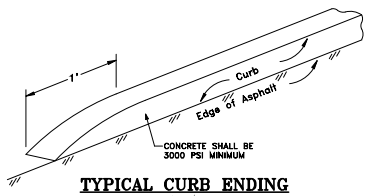


TABLE OF DIMENSIONS									
AØ	B	C	D	E* C.C.E.W.	FØ	GØ	H* C.C.E.W.	HOLDING DRIVE (pounds)
3'-6"	6"	8"	ASTM C-478	#4 AT 12"	5'-0"	4'-6"	#4 AT 6"	72
4'-0"	6"	8"	ASTM C-478	#4 AT 12"	6'-0"	5'-0"	#4 AT 6"	94
4'-0"	8"	8"	ASTM C-478	#4 AT 12"	6'-4"	5-4"	#4 AT 6"	94
5'-0"	8"	8"	ASTM C-478	#5 AT 12"	7'-4"	6-4"	#5 AT 6"	147
6'-0"	6"	8"	ASTM C-478	#5 AT 6"	8'-0"	7'-0"	#5 AT 6"	211
6'-0"	8"	8"	ASTM C-478	#5 AT 6"	8'-4"	7'-4"	#5 AT 6"	211

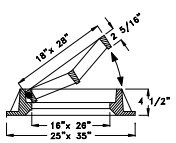
*GRADE 40, OR FOR EQUIVALENT STEEL DESIGNS.

TYPE "C" CATCH BASIN 42"-120" ROUND STRUCTURE



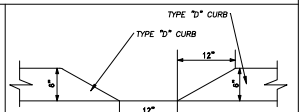
TYPICAL CURB ENDING

N.T.S.



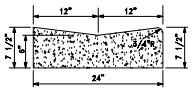
USF #4700 & 6223 GRATE HINGED FRAME

N.T.S.



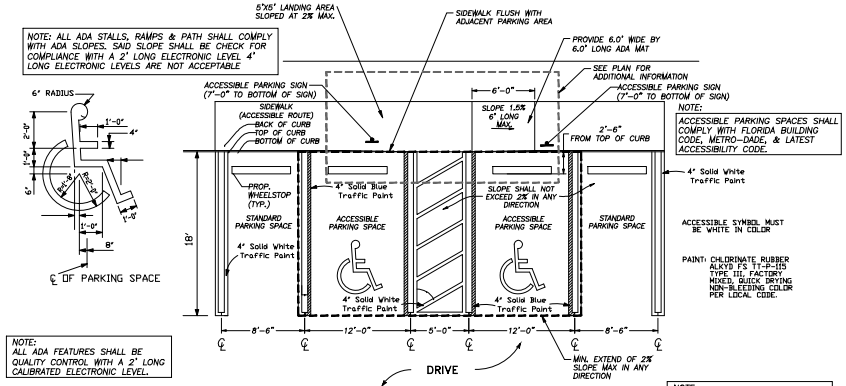
CURB OPENING

N.T.S.



2' VALLEY GUTTER

N.T.S.



ACCESSIBLE SYMBOL & PARKING DETAIL

Schwebke Shiskin & Associates, Inc.

LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LB#87 CA#87

3240 CORPORATE WAY
MIRAMAR, FL 33025
TEL: (305)652-7010
FAX: (305)652-8284

REVISIONS

Date	Remarks	By

JOHN C. TELLO LICENSE No. 71567 STATE OF FLORIDA PROFESSIONAL ENGINEER

THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 08/20/2016 BY JOHN C. TELLO, P.E. USING A DIGITAL SIGNATURE

PRINTED COPIES OF THESE SHEET ARE NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE

BUILDING 64&65

PAVING, GRADING AND DRAINAGE DETAILS

TOWN OF MIAMI LAKES, Florida SEC. 22, Twp. 52, Rge. 40

Drawn By: EMM Date: 08/08/16
Checked By: JCT Date: 08/19/16
Order No. 205719 FB: Sketches & 00000 Pg.00
Drawing Status: PERMIT SET

By:
JOHN C. TELLO
ASST. VICE-PRESIDENT
Registered Engineer No. 71567
State of Florida

Scale: As Noted

File No. ML-1153

Dwg. No:
C-12
OF: C-22

K:\2252400\BUILDING 64 & 65\PSD\DWG\DETAILS.dwg, 11/16/2016 12:18:11 PM, _AutoCAD PDF (General Documentation).pc3